

Donald Insall Associates

BROOMFIELD HOUSE

Gazetteer

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Chartered Architects and Historic Building Consultants

GAZETTEER – HOUSE AND STABLE YARD CURTILAGE BUILDINGS

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Levels of Significance

HIGH	An attribute which contributes strongly to the significance and is a critical part of understanding its history.
MEDIUM	An attribute which is an important contribution to the significance of the site and understanding its history.
LIMITED	An attribute of value which forms part of the significance of the site and may help to understand its history.
LOW	An attribute which may make a slight contribution to the site and often could be enhanced and which should not be viewed as expendable.
NEUTRAL	This attribute neither adds nor detracts from the significance of the site.
DETRIMENTAL	The attribute detracts from the value of the site and removal may well be encouraged.

Heritage values

Evidential Value :	The potential of a place to yield evidence about past human activity
Historical Value:	Ways in which past people and events and aspects of life can be connected through the site to the present. This can be illustrative (which depends on visibility in a way which evidential value may not) or associative (ie with a notable person, event or movement).
Aesthetic Value	The ways in which people draw sensory and intellectual stimulation from a place.
	A. EXTERIOR

6.A.1 BROOMFIELD HOUSE – ROOF

1.1 GENERALLY

Description/observation: During the course of the early 19th Century work to rationalise the façades of Broomfield House in a classical style, the earlier steeply pitched Tudor gables were replaced by a low pitched rectangular hipped roof. The finish was slate, hidden behind a timber parapet upstand to the periphery.

1.2 BROOMFIELD HOUSE

Description/observation: The house may be considered as a single rectilinear block and therefore this CMP addresses the roof as a single entity.



- i. **Roof covering over main house**, the fires of 1984, 1993 and 1994 destroyed the roof covering and much of its supporting structure. The temporary roof covering is provided by corrugated steel sheeting fixed to a scaffold frame, erected as part of the temporary protective works, which does not offer enough support for lateral winds and driving rain.

Significance: None. The house is currently roofed by a temporary roof held by scaffolding. It may be noted that this element obviously does not add to the character or historic integrity of the house and therefore may be deemed to be **detrimental**.

Heritage Values: Evidential: detrimental.

Historical: illustrative – detrimental, associative – none. Aesthetic: detrimental.



- ii. **The Tudor timber gabled cross wing**, with decorative gable and quadrant bracing below. This is dealt with in more detail in the section addressing room F12 later in this gazetteer.

Significance: Considerable significance, relative to the evidential and illustrative historical values which the timber represents. The Tudor core illustrates an important step in the development of the house from a humble farmhouse, to a more imposing form. This gable, sat centrally in the current plan form, suggests the previous building's outer footprint, whilst also demonstrating a construction type which is rare in this locale.

Heritage Values: Evidential: medium.

Historical: illustrative – medium, associative – medium.
Aesthetic: medium to high.



- iii. **The brick chimney adjacent to room G12** and its chimneystack, give clues to the historic narrative of the house's development, its fireplace relates to room G12 to the south, which was one of the principal rooms of the Tudor iteration of the house. Its relationship to the Tudor crosswing suggests the building may have been aisled, or that there may have been a (now lost) hall to the north. More recent investigations have revealed the presence of wall paintings on this stack in room G8

Significance: **Considerable** significance, relative to the evidential and illustrative historical values which the chimney represents. The Tudor core illustrates an important step in the development of the house from a humble farmhouse, to a more imposing form.

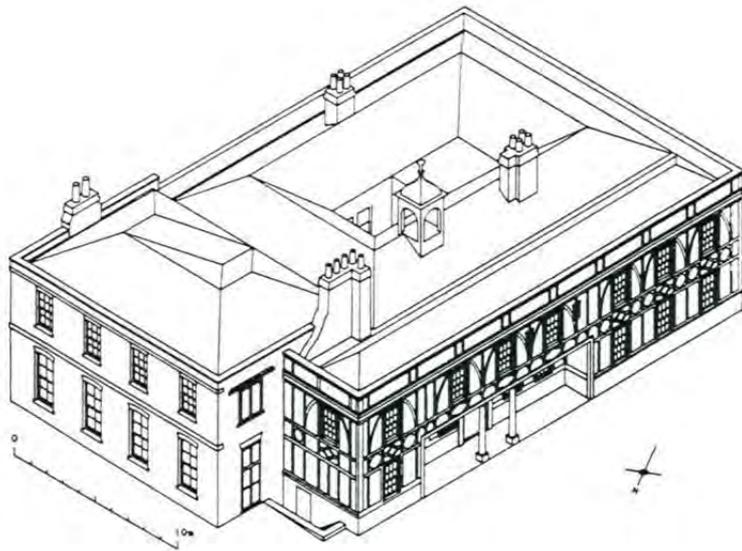
Heritage Values: Evidential: high.
Historical: illustrative – high, associative – low.
Aesthetic: high

6.A.2. BROOMFIELD HOUSE – EXTERNAL ELEVATIONS

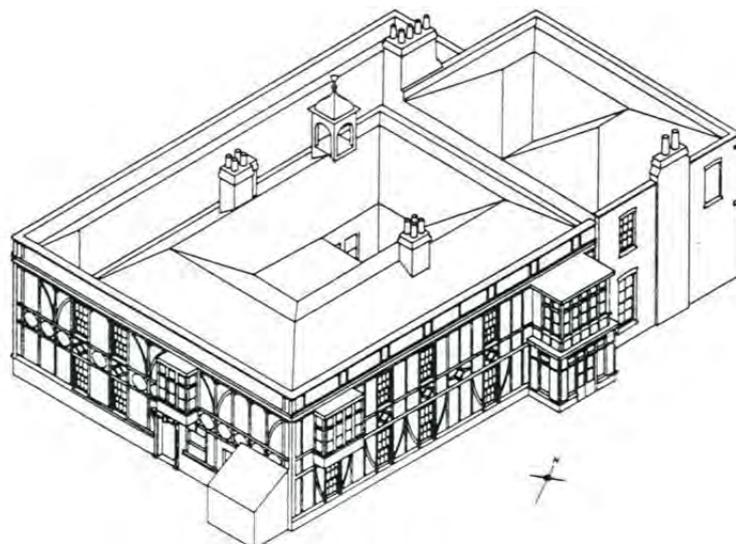
2.1 GENERALLY

Description/observation: Broomfield House developed over some 400 years, with major phases of work in the 16th and 17th Centuries. The remodelling of 1820s disguised the irregular form of the house resulting from the earlier phases, broadly to the form of the house which remains today. Further minor work in early-20th Century was carried out, and faux Tudor timber-framing was added to the facades in the inter-war years.

Therefore, the prevailing elevations are largely early to mid-19th Century in form, though with early-20th Century cladding over the stud framing to the east, south and west elevations.



1933 North-west isometric of Broomfield House. (Lea, 1994)



1933 South-east isometric of Broomfield House. (Lea, 1994)

2.2 NORTH ELEVATION

Description/observation:

- i. This elevation is two storeys high and four bays wide.



- ii. The façade is of Flemish bonded brickwork, with a two course high string course above the ground and first floor windows. Remnants of paint exist on the brickwork, and some of the joints appear to have been repointed in cementitious mortar.



- iii. The ground floor painted timber sash windows are of two sashes, each with four panes. The glazing of the panes is missing or damaged throughout, though the timber mullions generally survive. There are no external architraves present, only shallow (timber?) boards to the cheeks and head, and timber cills to the base. The heads of the openings are arched, with un-gauged brick arches above.



- iv. The first floor painted timber sash windows are of two sashes, each with six panes. The glazing of the panes is missing or damaged throughout, though the timber mullions generally survive. Square edged timber boards, thicker than those of the ground floor sashes sit to either side of each sash, with a shallow timber board to the head. The heads of the openings are arched, with rubbed and gauged brickwork to the head, directly below the top brick string course of the façade.



- v. Decorative ventilation grilles sit below each of the sashes at first floor level.



- vi. There is a coping to the head of the façade, though its materials and any weathering dressing is unknown as high level access could not be gained.

Condition: Generally, in relation to the whole building, this façade is in the best condition and consists of the most historic external built fabric. The sash windows are in fair condition, though they need some minor timber repairs, easing and redecorating, and reglazing. The brickwork is of fair quality with little spalling, although there are movement cracks in places. Cementitious mortar repairs have been carried out in places which are poorly matched to the size, colour and finishing of the original lime mortar pointing. The painted finish of the brickwork is patchy and of inconsistent coverage. There is some moss growth to the north-east corner of the brickwork caused by plant growth on the east elevation, beyond the arris. The brick string courses do not appear to have any flaunching.

Comment: This façade shields the early-19th Century principal rooms, which are large and well proportioned. Though not the most historic fabric of Broomfield House, it may be the most original fabric which is still serviceable for future use. The coping should be inspected for its condition and the extent of any flashing over the parapet wall.

Significance: **Medium** significance may be derived from the brick north range of the house. It is the best preserved section of the building following the fires of the late 20th Century, and the most original section of the façade relative to its phase of construction.

Heritage Values: Evidential: medium.
Historical: illustrative – medium, associative – high.
Aesthetic: high.

2.3 EAST ELEVATION –BRICK SECTION

Description/observation:

- i. This elevation is two storeys high with a central chimney breast protruding from the wall. This section of façade appears to be symmetrical about the chimney with a bay to either side, but there is no evidence of a ground floor window to the north end at ground floor level.



- ii. The façade is of Flemish bonded brickwork, with a short return of the two course high string course from the north elevation to the north end. Remnants of paint exist on the brickwork, and some of the joints appear to have been repointed in cementitious mortar.



- iii. The first floor window to the north end is blind with mortar flaunching to its cill.



- iv. There is creeping plant growth up the façade, helped by the temporary scaffolding.



- v. There is a coping to the head of the façade, though its materials and any weathering dressing is unknown as high level access could not be gained.



- vi. The ground floor painted timber sash window is of two sashes, each with four panes. The glazing of the panes is missing or damaged throughout, though the timber mullions survive. There are no external architraves present, only shallow timber boards to the cheeks and head, and timber cills to the base. The heads of the openings are arched, with un-gauged brick arches above.



- vii. The first floor painted timber sash window is of two sashes, each with six panes. The glazing of the panes is missing or damaged throughout, and the timber sashes are broken and missing in

places. Square edged timber boards, thicker than those of the ground floor sash sit to either side of each sash, with a wide timber board, with some missing sections, to the head. The heads of the openings are arched, with un-gauged brick arches above.



- viii. The chimney breast has decorative brick curves to either side above parapet level, with stepped brickwork at the head. It is surmounted by two modern chimney pots.

Condition: As with the north elevation, this section of façade is generally in good condition, though both of the sash windows require timber repairs and replacement of their glazing. It would be good and useful to clear the detrimental plant growth from the façade to fully assess the condition of the brickwork and associated pointing fully. The brickwork is of fair quality with little spalling, although there are movement cracks in places. Cementitious mortar repairs have been carried out in places which are poorly matched to the size, colour and finishing of the original lime mortar pointing. The chimney breast is generally in good condition with some recent repairs and repointing evident at its head.

Comment: This façade shields the early-19th Century principal rooms, which are large and well proportioned. Though not the most historic fabric of Broomfield House, it may be the most original fabric which is still serviceable for future use.

Significance: **Medium** significance may be derived from the brick north range of the house. It is the best preserved section of the building following the fires of the late 20th Century, and the most original section of the façade relative to its phase of construction.

Heritage Values: Evidential: medium.
Historical: illustrative – medium, associative – high.
Aesthetic: medium.

2.4 EAST ELEVATION – FAUX TUDOR SECTION

Description/observation:

- i. This elevation is two storeys high with a two storey rectilinear planned bay window, and a rectilinear oriel window at first floor towards the south end of the façade.



- ii. The façade is of cement render run over a steel mesh, with half timbering simulated by oak boarding attached to the studwork of the early-18th century timber stud framing beyond. The main façade sits on a low level rendered brick wall.



- iii. The cement render is holed and cracked throughout the infill panels, and the paintwork has failed and is peeling in places.



- iv. The oak timber boarding mimics the quadrant bracing found in some of the earlier internal timber framing. In places the façade has failed and the fire charred remains of the earlier studwork is visible externally.



v. Ground floor two storey bay.



vi. First floor two storey bay.



vii. Sash windows are missing and no window architraves are present (over most of this elevation). Several sections remain at ground floor level.



viii. Oriel window.



ix. Parapet façade missing, there is no coping and the early-19th century studwork is visible beyond.



x. Existing rainwater pipe sections.



- xi. Lean to missing roof, bastard bond brick pattern.

Condition: Generally this façade is in a poor state of repair.

Comment: The fabric in this area of the house suffered internally and externally to a greater extent than elsewhere. The metal lath and cementitious rendered areas of the façade are failing due to fire damage and lack of upkeep, whilst the applied oak timber boarding from the early 20th century is delaminating from the façade and has fallen away in places. The earlier studwork to which this façade is attached is fire damaged and is beyond saving in many areas.

Significance: The mock Tudor façade is of **limited** significance. The prior roughcast was removed and replaced by the cement render on metal lath and faux half timbering. Though it plays a part in the development of the house, it obscures and detracts from the earlier Georgian block form of the house.

The oriel window and bay window are of **medium** significance as they are evidence of the c.1910 alterations, which are architecturally articulate from the prior external form of the house, whilst still referencing the context in which they have been placed.

Heritage Values: Evidential: low.
 Historical: illustrative – low, associative – none.
 Aesthetic: low.

2.5 SOUTH ELEVATION

Description/observation:

- i. Hoarding and overgrown foliage prevent direct access to the base of this elevation, and therefore photographic surveying could only be carried out from either side of the hoarding.
- ii. This elevation is two storeys high with a rectilinear oriel window at first floor off centre to the east end of the façade.
- iii. The façade is of cement render run over a steel mesh, with half timbering simulated by oak boarding attached to the studwork of the early-18th Century timber stud framing beyond. The main façade sits on a low level rendered brick wall.

- iv. The cement render is holed and cracked throughout the infill panels, and the paintwork has failed and is peeling in places.



- v. The oak timber boarding mimics the quadrant bracing found in some of the earlier internal timber framing. In places the façade has failed and the fire charred remains of the earlier studwork is visible externally.



- vi. Sash windows missing, no architrave



- vii. Oriel window



viii. Lean to missing roof

Condition: Generally this façade is in a poor state of repair.

Comment: The fabric in this area of the house suffered internally and externally to a greater extent than elsewhere. The metal lath and cementitious rendered areas of the façade are failing due to fire damage and lack of upkeep, whilst the applied oak timber boarding from the early 20th century is delaminating from the façade and has fallen away in places. The earlier studwork to which this façade is attached is fire damaged and is beyond saving in many areas.

Significance: The mock Tudor façade is of **limited** significance. The prior roughcast was removed and replaced by the cement render on metal lath and faux half timbering. Though it plays a part in the development of the house, it obscures and detracts from the earlier Georgian block form of the house.

The oriel window is of **medium** significance as it provides evidence of the c.1910 alterations, which are architecturally articulate from the prior external form of the house, whilst still referencing the context in which they have been placed.

Heritage Values: Evidential: low.

Historical: illustrative – low, associative – none.

Aesthetic: low.

2.6 WEST ELEVATION – FAUX TUDOR SECTION

Description/observation:

- i. This elevation is two storeys high with a portico section off centre to the north end, supported by a pair of Tuscan columns.



- ii. The façade is of cement render run over a steel mesh, with half timbering simulated by oak boarding attached to the studwork of the early-18th Century timber stud framing beyond. The main façade sits on a low level rendered brick wall.



- iv. The oak timber boarding mimics the quadrant bracing found in some of the earlier internal timber framing. In places the façade has failed and the fire charred remains of the earlier studwork is visible externally.



- v. The sash windows are missing and the architraves are missing over the majority of the elevation.



vi. Smaller casement windows.



vii. Tuscan columns of portico.



viii. Soffit of portico.

Condition: Generally this façade is in a poor state of repair.

Comment: The fabric in this area of the house suffered internally and externally to a greater extent than elsewhere. The metal lath and cementitious rendered areas of the façade are failing due to fire damage and lack of upkeep, whilst the applied oak timber boarding from the early 20th century is delaminating from the façade and has fallen away in places. The earlier studwork to which this façade is attached is fire damaged and is beyond saving in many areas.

Significance: The mock Tudor façade is of **low** significance. The prior roughcast was removed and replaced by the cement render on metal lath and faux half timbering. Though it plays a part in the development of the house, it obscures and detracts from the earlier Georgian block form of the house.

Heritage Values: Evidential: low.
Historical: illustrative – low, associative – none.
Aesthetic: low.

2.7 NORTH ELEVATION (RETURNING FROM WEST ELEVATION) – FAUX TUDOR SECTION

Description/observation:

- i. This elevation is two storeys high, linking the main west elevation to the return section of the brick northern range. It has steps leading to the basement externally at the base of the wall.



- ii. The façade is of cement render run over a steel mesh, with half timbering simulated by oak boarding attached to the studwork of the early-18th Century timber stud framing beyond. The main façade sits on a low level rendered brick wall.



- iii. Ground floor, off centre window opening. Cill and part of frame remain, no evidence of casement/sash.



iv. First floor sash window.



v. Steps to basement and railing.



vi. Boarded door to basement and modern M&E pipework.

Condition: Generally this façade is in a poor state of repair.

Comment: The fabric in this area of the house suffered internally and externally to a greater extent than elsewhere. The metal lath and cementitious rendered areas of the façade are failing due to fire damage and lack of upkeep, whilst the applied oak timber boarding from the early 20th century is delaminating from the façade and has fallen away in places. The earlier studwork to which this façade is attached is fire damaged and is beyond saving in many areas.

Significance: The mock Tudor façade is of **low** significance. The prior roughcast was removed and replaced by the cement render on metal lath and faux half timbering. Though it plays a part in the development of the house, it obscures and detracts from the earlier Georgian block form of the house.

The 20th century m&e pipework, concrete steps, and metal railings are **detrimental** to the significance of the façade.

Heritage Values: Evidential: low.
Historical: illustrative – low, associative – none.
Aesthetic: low.

2.8 WEST ELEVATION – BRICK SECTION

Description/observation:

- i. This section of elevation is two storeys high with a double door at ground floor and a double casement window at first floor, aligned centrally with the section of wall.



- ii. The façade is of Flemish bonded brickwork, with a short return of the two course high string course from the north elevation to the north end. Remnants of paint exist on the brickwork, and some of the joints appear to have been repointed in cementitious mortar.



iii. Double doors with rectangular fanlight separated from doors by a transom and split with a mullion.



iv. 20th Century first floor window with gauged brick lintel.



v. Remnants of rainwater pipes remain on façade.



vi. Surface mounted modern pipe.

Condition: As with the north elevation, this section of façade is generally in good condition, though both of the windows require timber repairs and replacement of their glazing. The brickwork is of fair quality with little spalling, although there are movement cracks in places. Cementitious mortar repairs have been carried out in places which are poorly matched to the size, colour and finishing of the original lime mortar pointing.

Comment: This façade shields the early-19th Century principal rooms, which are large and well proportioned. Though not the most historic fabric of Broomfield House, it may be the most original fabric which is still serviceable for future use.

Significance: **Medium** significance may be derived from the brick north range of the house. It is the best preserved section of the building following the fires of the late 20th Century, and the most original section of the façade relative to its phase of construction.

Heritage Values: Evidential: moderate.
Historical: illustrative – moderate, associative – high.
Aesthetic: moderate.

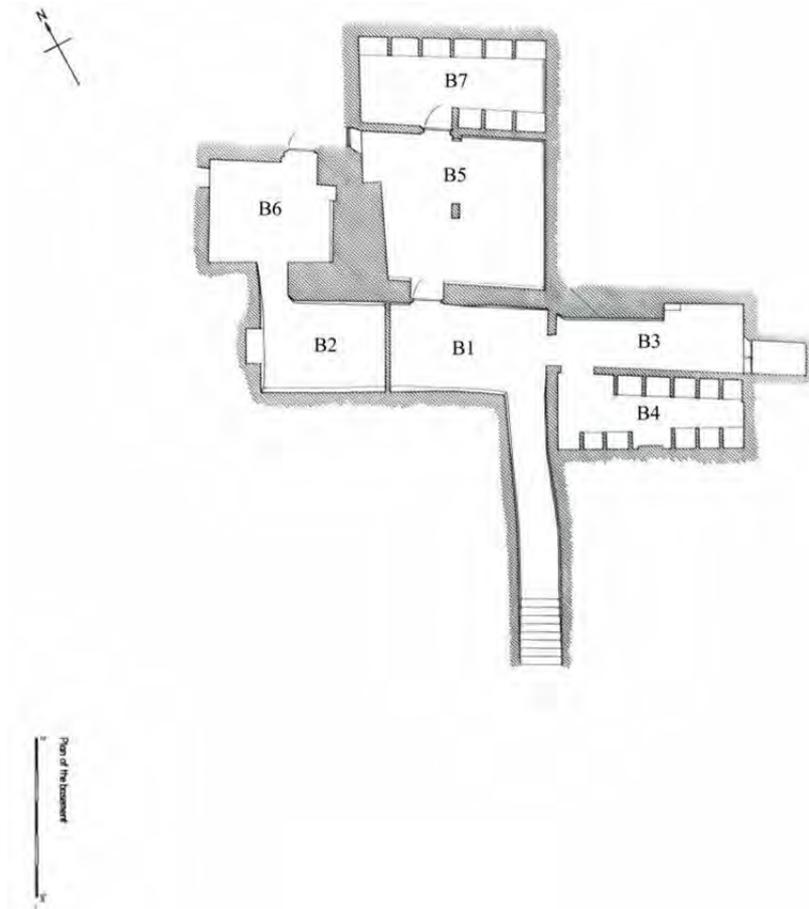
6.B. INTERIOR

6.B.1. BROOMFIELD HOUSE – BASEMENTS

1.1 GENERALLY

Description/observation: The basements of Broomfield House were constructed in a piecemeal fashion, with rooms B3 and B4 being the first built in the early part of the 17th Century. The basement areas are generally damp, with an earth floor to rooms B1, B2 and B6 and a more solid floor to the remaining areas of basement. This floor is covered by rubble, debris and rubbish and therefore its construction could not be readily assessed.

A section of basement extends beyond the general plan form of the superstructure to the North (this can be seen in the external elevations section of this report – a set of stairs descending to meet room B6) this area is very wet and there is often shallow standing water within this area. Building breaks visible in the cellar suggest that the basement rooms were built over several phases.



1.2 Basement Rooms B1 – B7

Description/observation:



- i. General example of interior condition, photograph taken from above as no safe access could be gained.

Condition: Inspection of the basement revealed the ceiling of the basement room B6 is formed of corrugated steel sheeting supported on steel beams, supported on a mixture of steel posts with adjustable legs or timber posts. There are steel bracing poles between the steel posts.

Comment: The steel flooring was noted to have surface corrosion of both the posts and corrugated sheeting.

Significance: The basements have **limited** significance. Though they are indicative of the development of the house and give evidence of the activities which led to their creation and expansion, they are poorly preserved and have been propped and rebuilt in modern and unsympathetic materials resulting in the loss of original built fabric. They often flood and were not fully accessible to assess the extent of this loss and therefore its exact effect on the element's significance.

Heritage Values: Evidential: moderate.
Historical: illustrative – moderate, associative – low.
Aesthetic: low.

6.B.2 BROOMFIELD HOUSE – GROUND FLOOR

2.1 GENERALLY

Description/observation: Fires affected the north-west corner (room G3 lost its ceiling and is now open to room F4 above it) and the south-east corner (rooms G6, G7, G9, G10, G11, G14) had the stud partitions delineating the rooms generally destroyed, though a few charred fragments remain. The ground floor ceiling structure has also been lost to this area, exposing the first floor external walls from below. The brick chimney stacks and the perimeter brick and studwork facades generally survive in-situ - though badly damaged and weakened in some sections by fire and lack of upkeep.

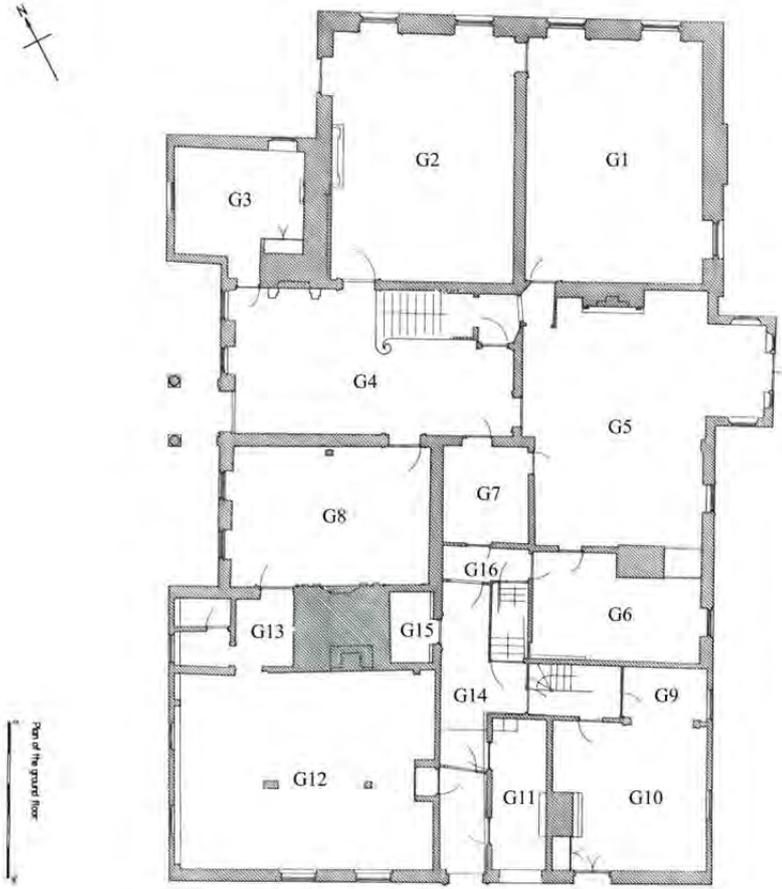
Timber: Generally, refer to the CONNIBBEE Structural Engineering Report from 2014 regarding the integrity of the remaining timber fabric. The majority of the remaining timber structural elements have been damaged by the 20th Century fires and subsequent lack of repairs and/or consolidation. The remaining but damaged timber areas include the timber framed sections of the external walls, ground floor joists, first floor primary beams and secondary joists, the main staircase to the first floor along with the original roof trusses and rafters.

Masonry: The brickwork sections of the external walls appear to be in generally sound condition although localised areas of cracking, deterioration of mortar joints and missing brickwork were observed to the two storey north end, and to the low level brick walls to the other elevations.

The masonry has fared better than much of the rest of the extant fabric, partially due to its resistance to fire being better than that of the timber elements of the building, and partially due to the fire seeming to have not spread to the principle rooms of the North elevation to the same extent as elsewhere.

Inner Walls: The internal partitions generally date from the early 19th Century. The fire has reduced the majority of these partitions to charred studwork. The timber of the studwork appears to have been of poor quality when originally installed, and the level of fire damage appears to indicate that they are no longer suitable for use as a frame for partitions or as load bearing elements in any future works.

Outer Walls: The description and observations regarding the timber and masonry elements of the external fabric are noted above. The expanded metal lathing, cementitious render and false half timbering associated with the early 20th century works survive. They are tied to the charred external timber stud framing of the earlier phases of construction, and appear to be propping one another in place. As with the inner studwork, the extent of fire damage has rendered these elements no longer suitable for the structural and cladding functions for which they were originally intended.



Ground Floor reference plan.

2.2 Room G1

Description/observation:



i. West elevation.



ii. North elevation.



iii. East elevation.



iv. South elevation.



v. Ceiling.



vi. Fireplace.

Condition: Walls: The main walls are propped with modern acrow props, to substitute for the support previously afforded by the first floor structure, but despite all the fires the external brick walls remain apparently sound though the top brick courses are in poor condition. The external walls are formed of a 225mm solid masonry wall, with another 112mm brick wall immediately to the exterior of this. Curiously, these two skins are not structurally tied together.

The bonding timbers visible longitudinally to the inner face of the brickwork are in poor condition and are considered no longer fit for purpose.

Internal Brickwork: The main bonder above the fireplace in G1 has failed. There are several bricks with blown faces to the interior behind the remaining timber studs of each elevation of the room. Some rebuilding of brickwork around the jambs of the sash windows of this room is necessary. The internal brick wall to the south end of G1 is in poor condition, a collapse of the adjoining structure has dislodged part of the wall, and this is causing the deterioration of surrounding masonry.

Windows: Window frames, architraves and shutters survive to all three window openings in G1. In addition parts of the dado panelling remain in situ.

Floors: The floor joists seem generally sound, though their built-in bearings and wall plates are in an unknown condition and may be unsuitable for future use without further support being provided over the basement rooms below.

Chimneys: There is a brick chimney stack to the rear face of the south internal elevation of room G1. It is lacking lateral stability due to the loss of surrounding timber floor and roof elements, a condition which is common to all of the remaining chimneys of the house. The chimneypiece itself is missing.

The brickwork to the chimneys appears to be in relatively sound condition although some areas of collapsed brickwork and cracking are visible. Some areas of grout consolidation and some propping with modern acrow props can be seen supporting the chimney in this location.

Internal Decoration: The rooms to the North end of the house are the best preserved, with much more of the internal decorative elements surviving in situ. Cornices, friezes and architraves

Elements of the interiors of the ground floor rooms, mainly cornices, lincrusta friezes, and architraves remain in place. Some other panelling originally located on the walls of G1 survive in store elsewhere, though the extent and quality of surviving panelling has not been reviewed recently. As part of activities for this Conservation Management Plan, some of the panelling has been viewed in shipping containers in the Broomfield Park service yard, but this was stacked and could not be accurately recorded.

Comment: The rooms to the north end of the house, though from a later period than some of the building's core, survive in a more original state following the fire damage of the late 20th Century.

Significance: The rooms to the north end of Broomfield House are of **medium** significance. They are the best preserved section of the building following the fires of the late 20th Century. Enough fabric remains to allow the form of the rooms and the way in which they might have been used to be apparent from the remaining built fabric. This is the only area of the house which has original decorative features present, including some cornices, lincrusta decoration, architraves, sash boxes and shutters, and skirting boards. Though unremarkable as individual rooms, within the overall scope of damage to the house they warrant their value through a balance of their significance and their originality.

Heritage Values: Evidential: medium.
Historical: illustrative – medium, associative – medium.
Aesthetic: medium.

2.3 Room G2

Description/observation:



i. West elevation.



ii. North elevation.



iii. East elevation:

The south end of the east wall has been damaged beyond repair, while other elements could be repaired.



iv. South elevation.



v. Ceiling.

Condition: Walls: As in room G1, the main walls of G2 are propped with modern acrow props, to substitute for the support previously afforded by the first floor structure, the external brick walls remain apparently sound though the top brick courses are in poor condition. The external walls are formed of a 225mm solid masonry wall, with another 112mm brick wall immediately to the exterior of this. Curiously, these two skins are not structurally tied together.

The bonding timbers visible longitudinally to the inner face of the brickwork are in poor condition and are considered no longer fit for purpose.

Brickwork: There are several bricks with blown faces to the interior behind the remaining timber studs of each elevation of the room. Some rebuilding of brickwork around the jambs of the sash windows of this room is necessary. The east wall of room G2 is suffering from collapse along the line of the adjacent upper bonding timber. The collapse of the adjacent section of wall to its southern end has dislodged a section of brickwork and this is causing the deterioration of the remaining unsupported built fabric.

Windows: The damage is more substantial than in G1 and will require replacement of shutters. In addition parts of the dado panelling will need extensive making good for re-use. The timber framed glazed double door to the West end of the room has collapsed on its hinges and has lost sections of its framing.

Floors: The condition of the floor is similar to that of room G1. The floor joists seem generally sound, though their built-in bearings and wall plates are in an unknown condition and may be unsuitable for future use without further support being provided over the basement rooms below.

Chimneys: There is a brick chimney stack to the west face of room G2. It is lacking lateral stability due to the loss of surrounding timber floor and roof elements, a condition which is common to all of the remaining chimneys of the house. As in room G1 the chimneypiece itself is missing, though it may be in store with the panelling elsewhere on the estate.

Internal Decoration: As noted for room G1, the rooms to the North end of the house are the best preserved, with much more of the internal decorative elements surviving in situ. Cornices, friezes and architraves

Elements of the interiors of the ground floor rooms, mainly cornices, lincrusta friezes, and architraves remain in place. Some other panelling originally located on the walls of G2 survive in store elsewhere, though the extent and quality of surviving panelling has not been reviewed recently. As part of activities for this Conservation Management Plan, some of the panelling has been viewed in shipping containers in the Broomfield Park service yard, but this was stacked and could not be accurately recorded.

Comment: As noted for room G1, the rooms to the north end of the house, though from a later period than some of the building's core, survive in a more original state following the fire damage in the late 20th century.

Significance: Room G2, being housed in the North end of Broomfield House is of **medium** significance. The rooms to this end are the best preserved section of the building following the fires of the late 20th Century. Enough fabric remains to allow the form of the rooms and the way in which they might have been used to be apparent from the remaining built fabric. This is the only area of the house which has original decorative features present, including some cornices, lincrusta decoration, architraves, sash boxes and shutters, and skirting boards. Though unremarkable as individual rooms, within the overall scope of damage to the house they warrant their value through a balance of their significance and their originality.

Heritage Values: Evidential: medium.
Historical: illustrative – medium, associative – medium.
Aesthetic: medium.

2.4 Room G3

Description/observation:



i. West elevation.



ii. North elevation.



iii. East elevation.

Condition: Room G3 is thought to be of early 17th Century origin, it was more seriously damaged than some of the other brick faced rooms to the North end of the house. The ground and first floor are missing, as are much of the timber side wall framing. The floor level differs from the surrounding rooms and this room's walls are of several periods indicating it was formed from existing elements of the building envelope. As noted elsewhere, the large adjacent chimney stack between this room and G2 has been repaired and repointed.

External Walls: The external walls of G3 are of mixed materiality. To the North end the construction is similar to that of G1 and G2, with a 225mm solid masonry wall internally, and a 112mm brick wall externally, again, the two skins of brickwork appear to be not tied to one another. To the West internal elevation the rear face of the early 20th Century expanded metal lath and its associated cementitious render and decorative half timbering, are visible. They are tied to the earlier studwork framing, this is visible at both ground and first floor. The bonding timbers visible longitudinally to the inner North face of the brickwork are in poor condition and are considered no longer fit for purpose.

Comment: The rooms to the north end of the house, though from a later period than some of the building's core, survive in a more original state following the fire damage in the late 20th century.

Significance: The rooms to the north end of Broomfield House are generally of **medium** significance, though due to the degree of dilapidation of G3 compared to other rooms at this end of the house, and the lack of built fabric indicating the cellular nature of the space or built fabric which gives context to activities carried out within it, room G3 is considered to be of **limited** significance.

Heritage Values: Evidential: limited.
Historical: illustrative – limited, associative – low.
Aesthetic: low.

2.5 Room G4

Description/observation:



i. West elevation.



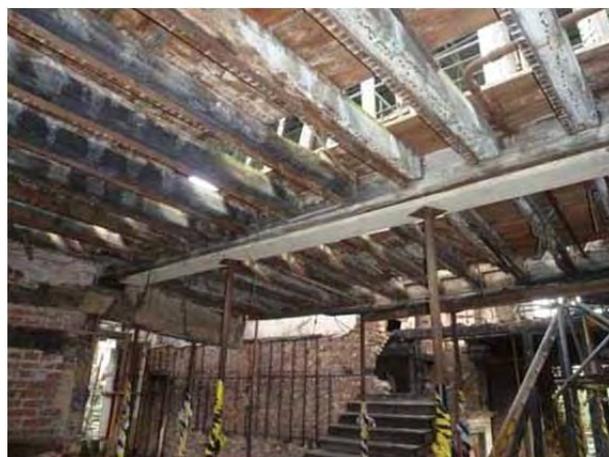
ii. North elevation.



iii. East elevation.



iv. South elevation.



v. Ceiling.



vi. Staircase.



vii. Tiles to the foot of the fireplace.

Condition: The cellular nature of room G4 has been lost, with the walls to the East end missing, along with the adjacent sections of the North and South walls. The external West wall survives in fair condition, along with the entrance opening and associated fanlight and adjacent shuttered windows.

External Walls: The external wall of G4 has brick piers between window and door openings, with a thinner brick wall below the cills of the windows.

Internal Walls: The internal walls to the North and South of G4 partially survive, though they are missing all of their surface finishes, except for the fragmentary remains of what appear to be blue and white Delft tiles within the fireplace.

Timberwork: Little of the decorative timberwork to room G4 proper remains in situ, the staircase is incomplete and most decorative elements including spindles, handrail, decorative panelling, skirtings, dado rail, picture rail and cornice mouldings have been lost to the 20th Century fires or removed subsequently and put in storage. The retained handrail and staircase elements have recently been inspected at their store at Clavering in Essex, and were found to be in good condition.

The early 18th Century doorcase of the front door to the west of G4 survives in place, as do the sash boxes (though it is noted that the sashes are not contemporary with the boxes in which they sit, nor the adjacent doorcase). These elements are presumed to be contemporary with the works to this room to incorporate the staircase and murals into the space.

There is a doorway between rooms G4 and G8 to the South, but the remaining architrave of this doorway has been severely damaged by fire.

Comment: This area originally held the Lanscroom Murals, and handsome associated panelling, for which Broomfield House was known. As noted elsewhere in this Conservation Management Plan, these elements have been preserved and restored as far as possible and are stored elsewhere. (See Appendices 3 and 4 for further details).

Significance: As a single volume, room G4 today is of **limited** significance, but when considered along with its associated panelling (85% of which was reported to survive in 2009) and Lanscroom murals (found to be in good condition when inspected in 2014) it is of **high** significance. There is no evidence of the pre-1720s stairway and hall which existed, and the charred remains of the timber stud partitions are as unremarkable as any other section of the house in a similar state of disrepair.

Heritage Values: Evidential: high.
Historical: illustrative – high, associative – high.
Aesthetic: low.

2.6 Room G5, G7

Description/observation:



- i. Room partitions stripped by fire, presently a single volume. (photo shows volume which previously contained G5 and G7).



ii. North elevation.



iii. East elevation, incorporating timber bay window.



iv. South elevation.

Condition: External Walls: The East external walls of G5 (The volume which did enclose G7 has no external walls) is formed of a 225mm solid masonry wall from floor to cill level. These external masonry dwarf walls are thought to be of 17th Century origin.

Above the masonry wall there is the early 20th Century expanded metal lath with a cementitious covering and decorative half timbering externally. This is tied to the extant timber framing from earlier timber framed walls, which are now severely damaged and charred by fire. It is thought that the metal lath is now providing structural support to the timber framing, where prior to the fires the opposite would have been the case.

The windows set into this wall are thought to be contemporary with the early 20th Century wall into which they fit, and they are thought not to be in a salvageable condition.

Internal Fittings: Though the windows are not salvageable, their associated sash boxes survive in reasonably good condition on the East elevation of the building, including the window to the external wall of G5.

A fireplace from the early 19th century survives in this room, though the surround is absent.

Masonry: The brickwork of rooms G5 and G7 appears to be in relatively good condition, with localised repointing and some individual replacement necessary where the faces of bricks have blown.

Internal Partitions: The studwork partitions to G4 and G7 have largely now disappeared. Remaining elements are of poor and unsalvageable condition.

Bay Window: There is an external bay to the east end of G5. It is of late 19th/early 20th Century construction, with a dwarf masonry wall below cill level and timber framed windows above. The bay is two storeys, and has double doors at ground floor level leading to the exterior, those these are now largely lost with only small elements remaining. Generally this bay seems in reasonable condition, though the glazing, as elsewhere in the house, has been lost to the fire. The timber framing of the bay and its windows appear to be in repairable condition.

Comment: Rooms G5/G7 are part of the former largely 18th century section of Broomfield House, running along its East side. This is the area of the greatest loss of fabric by volume, though not necessarily by value, which following general site clearance after the 20th Century fires, was opened up and consolidated as a full two-storey height space. The loss of this area to fire is, however, mitigated by the fact that the area was much rebuilt through the history of Broomfield House and is architecturally the least interesting part of the whole house. The chimneystacks between rooms G5 and G6, as well as that to the north of G5 remain and have been consolidated, repaired

and repointed following the fires. They are thought to possibly be of early nineteenth century origin. Both are noted to be in good and salvageable condition. The East external wall of G5 (much altered and reformed in the 20th century when the fake half timbering was added) has been temporarily propped and is badly damaged.

Significance: These rooms are of **low** significance. There is no evidence of the form or use of these rooms in the past, nor of the narrative of the phases of alterations to the house. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended.

Heritage Values: Evidential: low.
Historical: illustrative – low, associative – low.
Aesthetic: low.

2.7 Room G8

Description/observation:



i. West elevation.



ii. North elevation.



iii. East elevation.



iv. South elevation.

Condition: External Walls: The West external wall of G8 is formed of 225 and 325mm solid masonry pier walls, with 112mm low walls from floor to cill level. The external masonry dwarf wall is thought to be of 17th Century origin.

Above the masonry wall there is the early 20th Century expanded metal lath with a cementitious covering and decorative half timbering externally. This is tied to the extant timber framing from earlier timber framed walls, which are now severely damaged and charred by fire. It is thought that the metal lath is now providing structural support to the timber framing, where prior to the fires the opposite would have been the case.

The windows set into this wall are thought to be contemporary with the early 20th Century wall into which they fit, and they are thought not to be in a salvageable condition.

Internal Fittings: Though the windows are not salvageable, their associated sash boxes survive in reasonably good condition on the East elevation of the building, including the windows to the external wall of G8. The 1726 oak panelling was removed after the fire and was reported to remain in fair condition in the Paul Drury report of July 2009; about 70% of it survives.

Internal Partitions: Room G8 forms part of the ground floor cross wing that runs from East to West above the original Tudor hall to the South. These areas which formed the medieval core of the house survived the later fires, with much internal timber framing being of a larger profile providing a greater level of fire resistance. The masonry to the internal walls to the North and South of G8 are in good condition, as are the timber lintels of the fireplace to the South elevation. The ceiling has been lost, but the first floor joists are in a reasonable state of repair and are deemed to be salvageable. The timber partitions to the East side of G8 have been lost to fire and the bearing timber beam above is held by an acrow prop, though this is noted to be leaning substantially at the most recent visit.

At the heart of this area is the Tudor chimney stack to the South of G8, the product of several building periods and now stabilised with the injection of grout and the insertion of a new beam to the fireplace opening into this room. More recently, and as reported separately by Hirst Conservation, wall painting dating from c1550 has been found on this stack. Enfield Council hold a copy of the report.

The East wall of G8 may have been the external wall of the Tudor house at one point, as the decorative gable end framing sits directly above this at first floor level. There is also the rubble of a low level brick wall below the lost timber framing noted above. Though much of this wall is in a poor state of repair, it may be consolidated and/or rebuilt from a mixture of existing fabric (seen scattered about it in the photograph of the East elevation in this gazetteer) and new bricks to match.



Wall painting on stack in G8

Comment: The earliest surviving parts of the house are fragments of timberframing for a jettied cross-wing in the centre of the building, of which room G8 forms a part. At ground floor level the framing of the west wall of the primary structure survives.

The floors of the cross-wing and hall were probably raised, as the head of the post inserted to carry the spine-beam of the cross-wing floor has carved scrollwork decoration of early 17th century character.

Significance: Some elements of the Tudor core of the house, including the first floor timber cross bracing are of **high** significance, and as an individual room, room G8 is also of **high** significance, due to the surviving panelling and the painting to the chimney stack. Due to the loss of historic finishes and fabric which gives an understanding of the original forms and uses of the spaces, the significance is diminished. Though this is the case when G8 is considered as a grouping of cellular spaces along with the other Tudor rooms (with later panelling) to the South and above, they are collectively of **medium** significance, as they cluster around the central chimney breast, relate to the form of a previous iteration of the house, and suggest possibilities for other unknown stages of the house's development beyond the cross-wing.

Heritage Values: Evidential: high.
Historical: illustrative – medium, associative – limited. Aesthetic: limited.

2.8 Room G6, G9

Description/observation:



- i. Room partitions stripped by fire, presently a single volume. (photo shows floor surface change between G6 and G9).



- ii. North elevation.



iii. East elevation.



iv. South elevation.



v. Area of fire damaged studwork and steel mesh with concrete render.

Condition: Generally, as elsewhere, rooms G6 and G9 along with their adjoining staircase to the southwest corner are now a single volume due to a loss of internal fabric damaged by fire.

External Walls: The East external wall of G6 and G9 is formed of 112mm low walls from floor to cill level.

Above the masonry wall there is the early 20th Century expanded metal lath with a cementitious covering and decorative half timbering externally. This is tied to the extant timber framing from earlier timber framed walls, which are now severely damaged and charred by fire. It is thought that the metal lath is now providing structural support to the timber framing, where prior to the fires the opposite would have been the case.

The windows set into this wall are thought to be contemporary with the early 20th Century wall into which they fit, and they are thought not to be in a salvageable condition.

Internal Walls: Rooms G6/G9 form part of the area of Broomfield House which was largely stripped by fire in the late 20th Century. The chimney breast remains to the north end of G6, but all of the previously present timber stud partitions and the staircase adjacent to these rooms are no longer evident. There are some remnants of brick noggin and braced timber walls which provide evidence of the location of previous partition locations.

Other Features: There are some remaining elements of the tiled floor finish to the area previously occupied by room G9 and its adjacent staircase lobby. There are also some sections of other built fabric evident, a larger section of which is the tiled fire surround which we may presume originally sat about the chimney to the North of room G6.

Comment: Rooms G6/G9 are part of the former largely 18th century section of Broomfield House, running along its East side. This is the area of the greatest loss of fabric by volume, and equally by value, which following general site clearance after the 20th Century fires, was opened up and consolidated as a full two-storey height space. The loss of this area to fire is, however, mitigated by the fact that the area was much rebuilt through the history of Broomfield House and is architecturally the least interesting part of the whole house. The chimneystack between rooms G5 and G6 has been consolidated, repaired and repointed following the fires. It is thought to possibly be of early nineteenth century origin. It is in good and salvageable condition. The East external wall of G6/G9 (much altered and reformed in the 20th century when the fake half timbering was added) has been temporarily propped and is badly damaged.

Significance: These rooms are of **neutral** significance. There is little evidence of the form or use of these rooms in the past (other than the extant floor tiles), nor of the narrative of the phases of alterations to the house. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they were intended.

Heritage Values: Evidential: low.
Historical: illustrative – neutral, associative – neutral.
Aesthetic: neutral.

2.9 Room G10

Description/observation:



- i. Room partitions stripped by fire, brickwork chimney breast remains centrally (photo taken facing west).



- ii. Room partitions stripped by fire, rooms G5/G7 visible beyond (photo taken facing north).



iii. East elevation, missing sash window and fire damaged studwork and render.



iv. South elevation, brickwork of adjacent lean to structure.

Condition: Room G10 has been stripped by fire to a similar extent to other rooms along the East side of the house, though it has retained some framing elements to its North and West sides, and has is framed by external walls to the South and East. Some of its ceiling joists are also still present, though they are severely fire damaged.

External Walls: The South external wall of G10 is formed of a solid brick wall, with a timber lintel doorway to South-west corner. To the West external wall there is a dwarf masonry wall to cill level.

Above the masonry wall to the South and West, there is an early 20th Century expanded metal lath with a cementitious covering and decorative half timbering externally. This is tied to the extant timber framing from earlier timber framed walls, which are now severely damaged and charred by fire. It is thought that the metal lath is now providing structural support to the timber framing, where prior to the fires the opposite would have been the case.

The windows set into the walls are thought to be contemporary with the early 20th Century works, and they are thought not to be in a salvageable condition.

Internal Walls: Room G10 forms part of the area of Broomfield House which was largely stripped by fire in the late 20th Century, though the cellular volume of the room is still evident, framed by charred ceiling joists and some wall framing elements to the North end of the room. The chimney breast remains to the West end of G10, but much of the built fabric between G10 and G11 to the West of it is no longer evident. There are some remnants of brickwork to the foot of the chimney breast which the walls sat in line with, along with elements of braced timber walls to the head of the wall at ground floor. This provides evidence of the location of previous partition locations.

Timberwork: The timber door to the South elevation is still present, though it is fire damaged and may not be salvageable.

Comment: Room G10 was part of the former largely 18th century section of Broomfield House, running along its East side. This is the area of the greatest loss of fabric by volume, though not necessarily by value. Though not consolidated as a full two-storey height space, as elsewhere along this side of the house, G10 is in a poor state of repair and what remains provides little evidence of the use of the space. The loss of this area to fire is mitigated by the fact that the area was much rebuilt through the history of Broomfield House and is architecturally the least interesting part of the whole house. The chimneystack to the West of G10 has been consolidated, repaired and repointed following the fires. It is in good and salvageable condition. The West external wall of G10 (much altered and reformed in the 20th century when the fake half timbering was added) has been temporarily propped and is badly damaged. The East external wall is in salvageable condition, though localised repointing and brick replacement may be necessary. The remaining timber partition elements and ceiling structure is no longer viable for its original structural purpose, and would need augmenting/replacing in order to serve the function for which it was intended.

Significance: G10 is of **neutral** significance. There is no evidence of the form or use of the room in the past, nor of the narrative of the phases of alterations to the house. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended.

Heritage Values: Evidential: low.
Historical: illustrative – neutral, associative – neutral.
Aesthetic: neutral.

2.10 Room G11

Description/observation:



i. South elevation.



ii. Ceiling.



iii. East wall studwork exposed and surfaces missing.



iv. Floor finish.

Condition: Room G11 is a narrow space running between G10 and the corridor of G14, which provided the circulation route from the South into the main body of the house.

External Walls: There is a small section of external wall to the South of G11. It is formed of a solid brick wall, with a central timber sash window.

Internal Walls: The room is framed by the remaining elements of timber framing surrounding the chimney serving room G10 to the West, and some charred studwork and two door frames to the East. To the North there are no remaining timber partitions.

Comment: The brick south wall of room G11 appears to date from the early 19th century. It survives intact, as do most of the contemporary windows in it.

Significance: G11 is of **neutral** significance. As elsewhere there is a limited amount of remaining fabric in salvageable condition, and what does remain yields little evidence of the nature of the room as it previously stood. It is also worth noting that the structural elements are no longer fit for the role for which they are intended.

Heritage Values: Evidential: low.
Historical: illustrative – neutral, associative – neutral.
Aesthetic: low.

2.11 Room G12

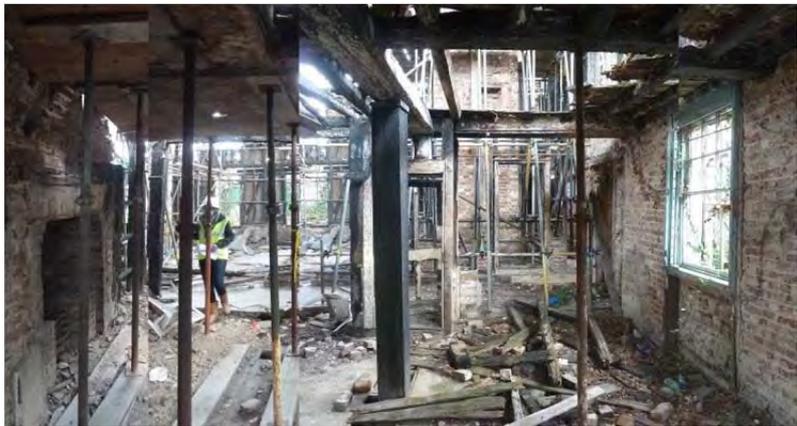
Description/observation:



i. West elevation.



ii. North elevation.



iii. East elevation.



iv. South elevation.



v. Floor.



vi. Ceiling.



vii. Brick fireplace.



viii. Corbelled brickwork supporting fireplace hearth of first floor room F21.

Condition: External Walls: The South external wall of G12 is formed of 225 and 325mm solid masonry pier walls, with 112mm low walls from floor to cill level. The brick South wall appears to date from the early 19th century. It survives intact, as do most of the contemporary windows in it.

The West external wall of G12 is formed of a solid dwarf masonry wall to cill level. Above the masonry wall there is an early 20th Century expanded metal lath with a cementitious covering and decorative half timbering externally. This is tied to the extant timber framing from earlier timber framed walls, which are now severely damaged and charred by fire. It is thought that the metal lath is now providing structural support to the timber framing, where prior to the fires the opposite would have been the case.

Internal Walls: Room G12 forms part of the area of Broomfield House from the earlier Tudor phases of work. It was perhaps the principal room of the house at one point. The cellular nature of the space, as well as internal quality of the space is still evident, though as elsewhere, the interior has been severely damaged by fire. Internally the brick chimney stack to the North end of the room provides separation from room G8 (with smaller rooms – G13, which was originally several small rooms, and G15). To the East there

was a timber framed partition, though not enough fabric remains to give a date for this. The principle timber supporting the first floor rooms is still present, held in place by acrow props.

Ceiling: The ceiling structure survives, though it is held up by acrow props to the centre of the room. It is presumed that this indicates that the extent of the fire damage to the ceiling is such that the structural ability of the remaining joists is insufficient to hold the first floor partitioned rooms above.

Comment: Generally, room G12 survives in reasonable condition relative to the rest of Broomfield House. It has external walls to the West and South of the room, and a substantial chimney breast to the North. The East end had timber partitions, some of which remain, though in a fire damaged state. The ceiling joists are visible, as are the first floor timbers through them. There are several acrow props to the centre of the room, bracing the fire damaged ceiling structure.

Significance: The significance of this room has been diminished by the loss of historic finishes and elements of built fabric. Though this is the case, the rooms which once formed the Tudor core of the house, including G12, form a grouping of cellular spaces that are of **medium** significance, as they cluster around the central chimney breast of the house as it was, relate the form of a previous iteration of the house within the existing built envelope, and suggest possibilities for other unknown stages of its development beyond the cross-wing (rooms G7 and G8 at ground floor level).

Heritage Values: Evidential: high.
Historical: illustrative – medium, associative – medium.
Aesthetic: limited.

2.12 Room G13

Description/observation:



- i. Small partitioned rooms, with single sash serving south-western most room.



ii. Ceiling (missing).



iii. Floor.



iv. Outer wall section facing west.

Condition: External Walls: The West end of the rooms of G13 is formed by 112mm low walls from floor to cill level. Above the masonry wall there is an early 20th Century expanded metal lath with a cementitious covering and decorative half timbering externally. This is tied to the extant timber framing from earlier timber framed walls, which are now severely damaged and charred by fire. It is thought that the metal lath is now providing structural support to the timber framing, where prior to the fires the opposite would have been the case.

Internal Walls: The internal walls of G13 have been altered and a modern rendered blockwork wall has been inserted between the southernmost room and G12, presumably to provide structural support to the first floor timber above it.

Ceiling: The principle timbers of the ceiling appear to be in fair condition and are visible above G13, though the ceiling finish itself has been lost, as have some of the first floor floorboards above.

Comment: Room G13 is in fact three small rooms, the depth of which from North to South matches that of the adjacent Tudor chimney breast to the East.

Significance: Though part of the Tudor core of the house, these rooms are considered to be of **limited** significance due to the loss of so much of their original fabric, and in some instances, as where a partition wall has been replaced with a blockwork wall, there has been a loss of understanding of the cellular nature of the rooms.

Heritage Values: Evidential: limited.
Historical: illustrative – limited, associative – limited.
Aesthetic: limited.

2.13 Room G14

Description/observation:



i. Room partitions stripped by fire, adjacent to rooms G6/G9. Remnants of staircase to basement shown.

Condition: G14 has lost its original stud partitions, and the majority of its checked floor tiles.

Comment: G14 was a 'T' shaped circulation space, linking rooms in the core of the house to two service staircases, one of which leads to the basement and one of which led to the first floor. Partitions have been lost between G14 and its surrounding rooms. There is very little surviving fabric to comment on, as the context of the space has been lost.

Significance: This room is of **low** significance. The room has some remaining historic floor tiles, but so much built fabric has been lost that it is difficult to ascribe any significance to what remains as it lacks context.

Heritage Values: Evidential: low.
Historical: illustrative – low, associative – low.
Aesthetic: low.

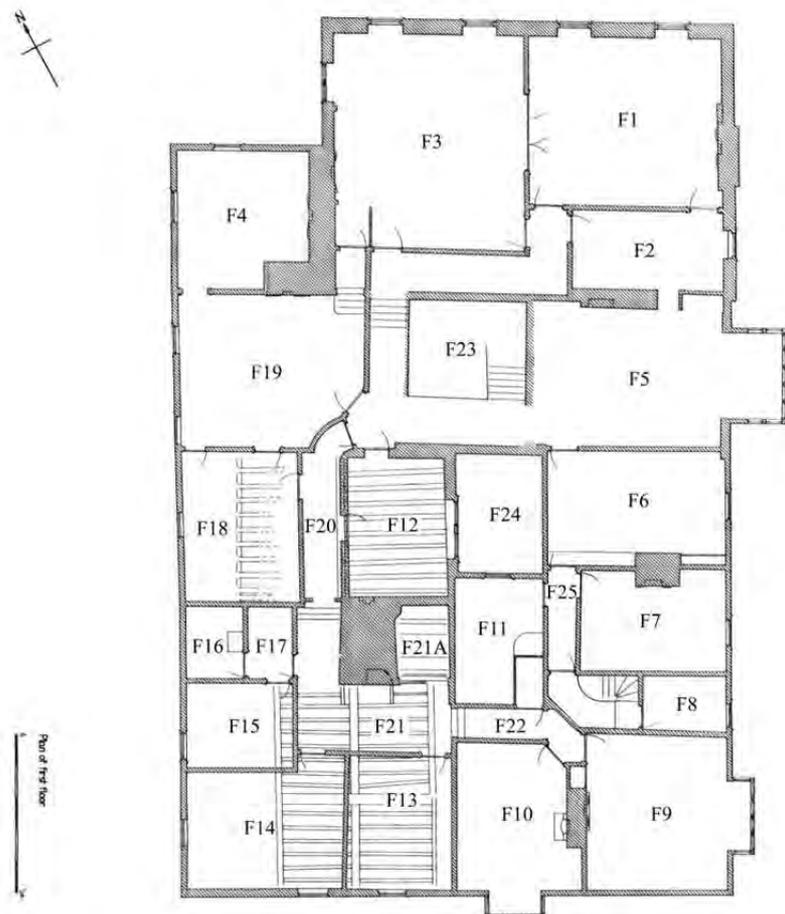
6.B.3 BROOMFIELD HOUSE – FIRST FLOOR

3.1 GENERALLY

Description/observation: Access to first floor is limited due to fire damage and missing/unsafe sections of flooring. Due to the extent of fire damage to the timber floors and joists separating the first floor from the ground floor, a survey for the purpose of this gazetteer was conducted from the ground floor as far as practicable.

Generally less detail remains at first floor level compared with that of the ground floor. The floors of rooms F1, F2 and F3 generally survive, as noted elsewhere the North range of brick enclosed rooms have survived to a greater extent than elsewhere. The rooms along the East side of the house and rooms F19 and F23, which originally held the Lanscroun murals and decorative timber panelling, have been lost and are left as a double height space with few timber joists indicating the division of ground and first floor.

To the West side of the house, what was the Tudor core of Broomfield has some surviving fabric in-situ. The studwork of some partitions, some door framing and associated architraves and some sash boxes survive. The studwork indicating the delineation of the rooms to the West side is well charred as a result of fire damage and it is questionable whether this studwork would survive any repair work or consolidation activities.



3.2 Rooms F1, F2

Description/observation: Note – the photographs below are taken from ground floor level below room F3. The stud partitions between rooms F1 and F2 have been largely lost, but image ii. shows the extent of F2, by virtue of the remains of a doorcase to its western edge.



i. East internal elevation, partially visible through charred stud partition remains of the west internal wall.



ii. Remaining brick chimney to the south elevation of room F2.

Condition: Walls: The external walls are of brickwork, the top courses of which are failing. Generally they seem to be in reasonable, repairable condition. The internal partitions have been largely burnt out, though enough remains to delineate the rooms from one another in this area.

Floor: The floor joists of F1 remain intact but no safe stair access was available in order to fully assess the suitability of the remaining fabric for future use.

Comment: Few areas of the first floor structure survive, the area to the northeast of the house, where rooms F1 and F2 are located is the least affected by the fire damage of the late 20th Century.

No access was available to first floor level during site visits. The floor of rooms F1/F2 survives, impeding visibility of the internal elevations of this room for the purposes of a photographic survey.

Significance: As elsewhere in the house, the roof has been lost and there is severe fire damage. Though that is the case, the level of damage is much less than in other rooms, but the contribution of these spaces to the listing is perhaps not as great as some of the earlier Tudor built fabric. On balance this room is considered to be of **limited** significance.

Heritage Values: Evidential: limited.
Historical: illustrative – low, associative – low.
Aesthetic: low.

3.3 Rooms F3

Description/observation:



i. West elevation.



ii. North elevation.



iii. East elevation.

Condition: Walls: The external walls are of brickwork, the top courses of which are failing. Generally they seem to be in reasonable, repairable condition. The internal South partition has been largely burnt out, whereas the partitions to the East remain to enough of an extent that the volumes of the spaces can be delineated from one another.

Floor: The floor joists of F3 are generally missing, though a small fire damaged section remains to the South-west corner.

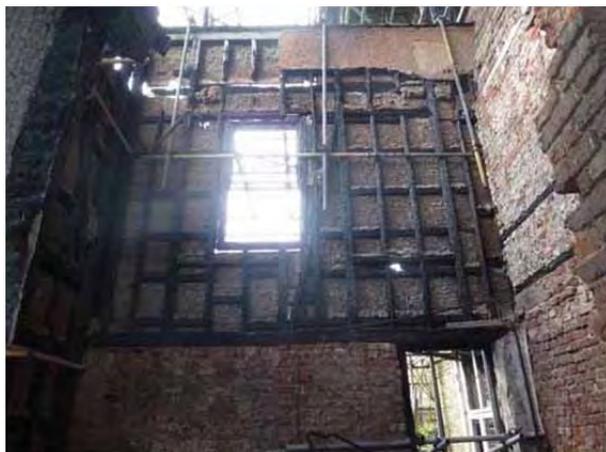
Comment: Though the floor is missing to F3, the external wall fabric looks in reasonable condition, with some of the window case architraves still in place.

Significance: This room is of **limited** significance. As elsewhere in the house, the roof has been lost and there is severe fire damage.

Heritage Values: Evidential: limited.
Historical: illustrative – low, associative – low. Aesthetic: low.

3.4 Room F4

Description/observation: Note – access could not be gained to the interior of room F4, as the floor was deemed to be unsafe.



i. North elevation of F4. The section of the wall corresponding to the floor level of F4 is that which has internal timber studs.

Condition: Room F4 has lost its floor and is now a single double height volume open to parapet level above. This room is possibly early 17th Century in origin. It has an adjoining chimney stack to the East side internally, which is of several periods. The chimney stack was weakened by fires but grouting and mortar repairs are evident.

Comment: The expanded metal lathe external walls can be seen to be failing in places, with sunlight visible through holes in the cementitious render.

Significance: This room is of **limited** significance. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements, including the external walls are no longer fit for the role for which they are intended.

Description/observation:

3.5 Rooms F5/F6/F23



i. East elevation.

Condition: Rooms F5, F6 and F23 have lost the majority of their floors and are now generally a single double height volume open to parapet level above. The rooms are enclosed by an early 20th Century expanded metal lath and cementitious render façade to the East, tied to earlier timber studs. Room F5 has an adjoining chimney stack to the North side internally. The chimney stack was weakened by fire damage but repairs are evident. The western half of the early 17th century floor frame in F5 has been irreparably damaged by fire. The associated floor structure survives.

Comment: This volume was formally three separate rooms. Generally, the area to the East of the house, which includes rooms F5 and F6, has been lost to fire, and exists now as a single double height volume. F23 was always part of a double height volume with G4, for the staircase and Lanscroun murals, major parts of which survive.

Significance: This space as currently presented is of **detrimental** significance. There is little fabric remaining, and much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended. The remaining external walls to the East are early 20th Century fabric and are unsympathetic to the earlier phases of work. Taken as separate parts, however, F23 is of **high** significance due to the surviving elements of the staircase and Lanscroun murals stored elsewhere, whereas F5 and F6 are **neutral**.

Heritage Values: Evidential: high.

Description/observation:

Historical: illustrative – high, associative – high.

Aesthetic: high.

3.6 Rooms F7/F8/F9



i. East elevation of F9.



ii. South elevation of F9.

Condition: Some elements of the floor structure survives to the East end of room F9, but it is considered that it has been damaged beyond repair by fire.

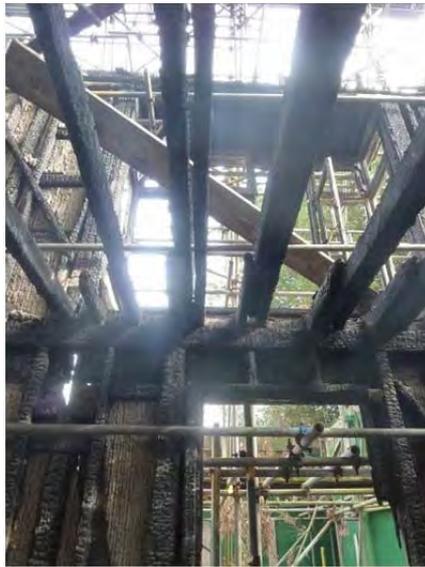
Comment: This volume was formally three separate rooms, including the staircase and landing serving these rooms to the immediate West. Generally, the area to the East of the house, which includes rooms F7, F8 and F9, has been lost to fire, and exist now as a single double height volume. The one exception is in room F9, where some floor structure survives and has been propped up to the East of the space.

Description/observation:

Significance: This room is of **little** significance. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended.

Heritage Values: Evidential: low.
Historical: illustrative – low, associative – low.
Aesthetic: low.

3.7 Rooms F10/F11/F13/F21/F22



- i. General condition of remaining fabric (note photograph taken looking towards the south internal elevation of room F10, showing oriel window projecting away from the building line).

Condition: The oriel window to the South of room F10 is severely damaged, though as with other high level bays, the full extent of this cannot be known without high level access being gained.

Rooms F10, F11, F13, F21 and F22 have lost the majority of their floors and are now generally a double height volume open to parapet level above. Internal stud partitions have also been lost, reducing the reading of the cellular nature of the rooms. The rooms are enclosed by an early 20th Century expanded metal lath and cementitious render façade to the East and South, tied to earlier timber studs. Room F10 has an adjoining chimney stack to the East side internally.

Description/observation:

Comment: The division of space to these rooms, which collectively constitute the South-East corner of the house has been lost. Several phases of the development of Broomfield House may have previously been evident but the extent of fire damage prevents the reading of the house as a dwelling of several phases.

Significance: This room is of **limited** significance. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended.

Heritage Values: Evidential: limited.
Historical: illustrative – low, associative – low.
Aesthetic: low.

3.8 Room F12



i. Timber framing of East facing first floor cross-wing.

Condition: A full visual survey could not be carried out of room F12, but it is notable as being enclosed on the East end by a previously external timber framed gable end, which was part of the earlier Tudor house. As elsewhere, fire has damaged the cross bracing and panel infill. The timber brackets which supported the timber gable on a jettied cross-wing are visible, but they are severely charred as a result of the late 20th Century fires.

Description/observation:

Comment: This cross wing was heated by the extant brick chimney stack on the Southern edge of F12. At a later date the first floor of the crosswing appears to have been raised to increase the height of the ground floor. This involved simply jacking up the entire frame and placing it on a rebuilt, and higher, brick plinth. The original level of the first floor can be seen from the mortice directly over the fireplace, which is thought to have originally held the central spine beam of the first floor.

Significance: The cross wing is of **high** significance as an example of a Tudor half-timbered construction with cross bracing, which is rare in this geographical context. It gives clues to the development of Broomfield House and its early phases of construction.

Heritage Values: Evidential: high.
Historical: illustrative – high, associative – medium.
Aesthetic: medium.

3.9 Rooms F14/F15/F16/F17



- i. View of external wall of F14 photographed from below, through floor joists above G12.

Description/observation:

Condition: Though some floor timbers remain, access was unavailable to inspect them from above. Internal studwork is visible and appears to have less fire damage than elsewhere, but internal finishes have been stripped and either lost or stored elsewhere.

The external walls are of expanded metal lathe with cementitious render and half-timbered infill panels to the exterior, and earlier timber studs to the interior. The internal studs appear to be in better condition here than to the East end of the house.

Comment: These rooms, to the South-West corner of Broomfield House, formed part of the earlier Tudor house. They could not be surveyed in their entirety, as no access could be gained to first floor level, and no clear views of the extent of remaining internal partitions could be found. It is presumed that the level of surviving fabric is similar to that of surrounding rooms, where some fire charred internal stud partitions remain, indicating the location of previous rooms.

Significance: These rooms are of **medium** significance as an example of a Tudor range of built fabric, with half timbering and cross bracing, a feature rare in this geographical context. It gives clues to the development of Broomfield house and its early phases of construction.

Heritage Values: Evidential: medium.
Historical: illustrative – limited, associative – limited.
Aesthetic: low.

3.10 Rooms F18/F20



i. Doorway to F18 with remaining fabric beyond.

Description/observation:

Condition: The earliest surviving parts of the house are fragments of timberframing for a jettied cross-wing in the centre of the building, of which this room forms a part. At ground floor level (G8) the framing of the west wall of the primary structure survives.

Comment: This cross wing was heated by the extant brick stack on the south side. It is unclear whether the upper chamber was heated, as later alterations have obscured the original form of the stack at this level. At a later date the first floor of the cross-wing appears to have been raised to increase the height of the ground floor. This involved simply jacking up the entire frame and placing it on a rebuilt, and higher, brick plinth. The original level of the first floor can be seen from the mortice directly over the fireplace, which is thought to have originally held the central spine beam of the first floor.

Significance: This room is of **limited** significance. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended. The later internal partitions do not appear to be of a similar date as the Tudor framing elements.

Heritage Values: Evidential: limited.
Historical: illustrative – limited, associative – low.
Aesthetic: low.

3.11 Room F19



- i. Studwork partitions of F19 missing to East side, revealing remaining fabric.

Description/observation:

Condition: The early 17th century floor structure survives to F19, as do elements of the timber stud framing both internally and externally.

Comment: Room F19 sat above the hall to the North of the Tudor house. It was altered when the Lanscroun murals and timber panelling were added to the room to the East of it.

Significance: This room, as currently presented, is of **limited** significance. Much of the remaining fabric is beyond salvage in a traditional sense of restoration, as the structural elements are no longer fit for the role for which they are intended.

Heritage Values: Evidential: limited.
Historical: illustrative – limited, associative – low.
Aesthetic: low.

C. CURTILAGE BUILDINGS

6.C.1 STABLES

Description/observation: The curtilage buildings, as defined for the purposes of this report, are enclosed by a service yard formed of early 18th Century brick walls, to the south of Broomfield House.

1.1 STABLES – EXTERIOR

Description/observation:



- i. View from beyond entrance gates, across the service yard to the stable block.



- ii. North-east elevation of the stable range.



- iii. North-west elevation brickwork, steel structural ties are evident, counteracting the undulations of the wall. Cementitious pointing and overgrown vegetation are also visible here.

Condition: The condition of the building externally is dilapidated with tiled roof finishes removed from the principal and south west wings and replaced with corrugated sheeting and felt respectively, original windows are boarded up and there are large areas of perished brickwork. However, the basic (in part tuck pointed) brick structure is considered by the London Borough of Enfield basically sound and the roof and floor structures (although locally rotten and/or missing) repairable.

The Stable Block is thought to be of early-19th Century origin, though reusing some materials removed from Broomfield House during reordering works of the same period. This is noted to include some timber tie beams. The roof is rectangular with a simple hipped form.

Comment: The walls of the stable yard are 16th century in character, but the stable block itself is rather later. The Edmonton enclosure map indicates that the stables post-date 1801, and replaced an earlier stable block on the site of the current public toilets. The structure of the building is consistent with an 18th or early 19th century date, and is probably contemporary, or nearly contemporary, with the expansion of the house in the 1820s. It is a simple two-storey rectangular structure with a hipped roof.

Later work principally consists of the addition of double doors into the north elevation and the blocking of windows in the east elevation.

Much of the building materials used in the stable have been reused, and were probably taken from the house when it was remodelled. The former outbuildings to the south of the house were demolished around the same time, presumably replaced by the new stable block.

BROOMFIELD HOUSE

BROX

Significance: **Medium** significance may be drawn from the external fabric of the stable range. It provides evidence of the narrative of the Broomfield estate's development, and was formed in the late 19th Century from elements of built fabric recycled from the works to main house. It shares its external wall with the masonry wall enclosing the edge of the estate, and encompassing the estate yard. It provides evidence of how the estate was used, and remnants of a former cottage for a grounds keeper survive to its rear.

Heritage Values: Evidential: medium.
Historical: illustrative – medium, associative – low. Aesthetic: limited.

1.2 STABLES – INTERIOR

Description/observation: The ground floor has a simple fit out, but was probably divided into stalls and loose boxes, with a hayloft above previously. This is suggested by blocked doorways for additional doors at ground level and ventilation slits at first floor level.



i. Staircase to first floor east end.



ii.

Staircase to first floor west end.

BROOMFIELD HOUSE

BROX

iii.



Hayloft at first floor level.

iv.



Central room, possibly formed from previous stalls.



v. Remaining timber stall.

vi.



Lean-to to the north east corner of the stables, the corrugated metal roof has collapsed.



vii. Previously inhabited rooms to the west end of stable range.



viii.

View through floor joists, large sections of missing roof visible beyond.

BROOMFIELD HOUSE

BROX

ix.



Corrugated metal roof of the lean-to room to the south west corner of the stables.

x.



Floor of lean-to room, showing evidence of previous roof and ceiling structure.

xi.



Framed, ledged, braced and battened door in room adjacent to lean-to room.

Condition: Much of the building is constructed from reused materials, presumably reclaimed from the house and other buildings on the site, following its reconstruction in the early 19th century. The roof, a relatively simple side purlin affair, makes use of older timbers for the tie-beams, which have mortices to receive binders for ceiling joists, and many other timbers have been reused in more or less their original layout. Part of the 16th or 17th century park wall is incorporated into the east elevation of the stable. The surviving stalls and fittings appear to be late 19th century in date.

The interior of the stables is generally in quite poor condition. The flights of stairs leading away from the entrance to the west end of the range are in a poor state or repair, with one missing its treads and risers. The other was noted to be unsafe for use.

There are some remains of vertical timber slatted stalls to the east end of the range in good condition, along with a room which appears to have been composed of elements of previous stalls. This room may have been formed in the late 19th Century. It has a floor of blue stone twelve inch pammments which are likely to be contemporary to the timber stable stalls. It also has a lath and plaster ceiling with straight jointed laths, set between timber downstands. This ceiling is failing and much of the plaster has been lost, taking some of the laths with it.

The east end of the range opens through to the range of storage sheds to the eastern edge of the service yard. The corrugated metal roof has failed in places, as in the photograph above.

Comment: Not all of the internal spaces are accessible, but in the principal wing an amount of historically interesting fittings and finishes survive, notably to the ground floor an entire loose box and intact elements of original wall linings and to the first floor tongue and grooved boarded partitions. To both floors and externally brick, stone block and wooden floor finishes survive.

The first floor could not be surveyed, as one staircase was missing, and the other was in an unsafe state of repair.

Significance: The stable block is of **medium** significance. It contributes to the narrative of Broomfield House, as it is partially formed of extant fabric from a phase of works to the house contemporary with the stable's construction. It provides evidence of the way in which the estate and grounds have previously been used, and the way in which its uses have evolved over time.

Heritage Values: Evidential: medium.
Historical: illustrative – medium, associative – low.
Aesthetic: low.

BROOMFIELD HOUSE

BROX

OTHY – EXTERIOR

2.1

Description/observation:

i.



Bothy from service yard.



ii.

The north-west end of the bothy serves as an estate gardener's store. The internal division is evident externally at the point where the weatherboarding changes.



iii.

Build line of previous greenhouse lean-to is visible on south-east elevation.

BROOMFIELD HOUSE

BROX

Condition: The bothy is a rectilinear building, sharing its north wall with the garden wall enclosing the service yard. It has brick masonry end walls of two different periods, with two sections of timber weatherboarding to the south façade. The roof is clay tiled, with a hipped form. The fabric is in a dilapidated state, though the west end appears to have been maintained with a greater degree of regularity.

The structure of the building is consistent with an 18th or early 19th century date, and is probably contemporary, or nearly contemporary, with the expansion of the house in the 1820s.

Comment: The bothy sits in the north-west corner of the garden. There was previously a group of 19th and early 20th century glasshouses adjacent to the bothy. Most of the glasshouses were abandoned in the late 20th century, and were demolished in the early 21st century. The southern part of the kitchen garden, and the buildings along Broomfield Lane, were replaced by the war memorial that currently occupies this site, shortly after the First World War.

Significance: Limited significance may be drawn from the external fabric of the bothy. It provides evidence of the narrative of the Broomfield estate's development.

Heritage Values: Evidential: Limited.
Historical: illustrative – limited, associative – low.
Aesthetic: low.

2.2 BOTHY – INTERIOR

Description/observation: The bothy is divided into two sections with a central partition. The section to the west has been noted to be unsafe for access, and therefore has not been inspected internally. The section to the east is used by the Broomfield estate as a gardener's store. It is a double height space, but there is no evidence of a previous floor being present.



- i. Exposed roof structure; rafters, collar ties and purlins. The tile counter battens and the undersides of the tiles are clearly visible.



- ii. Limewashed brickwork central partition, separating the two sides of the bothy. Above the brickwork, the triangular roof space is separated with a timber boarded infill.

Condition: The interior of the bothy as surveyed appears to be in good condition, with care having been taken to maintain the built fabric. The east end wall has been rebuilt in blockwork, with short returns into either end of the façade.

Comment: Not all of the internal spaces were accessible during the survey.

Significance: The bothy is of **limited** significance. It contributes to the narrative of Broomfield House, as it is a subsidiary building which directly relates to the grounds and stables. It provides evidence of the way in which the estate and grounds have previously been used, and the way in which its uses have evolved over time.

Heritage Values: Evidential: limited.
Historical: illustrative – limited, associative – low. Aesthetic:
low.

3.1 20th CENTURY HOUSING

Description/observation:



- th
i. 20 Century terrace of housing, to the south-west corner of the service yard.

BROOMFIELD HOUSE

BROX

ii.



Boarded-up windows to south end gable façade.



- iii. A row of garage/storage units sit perpendicular to the stable and houses on the south east side of the service yard.

Condition: The terrace appears to be in fair condition and was occupied until a short time before our survey took place. It is of mid to late 20th Century, with a brickwork façade generally, with timber weatherboarding between first floor and eaves level to the northeast elevation. The lights are in uPVC, with some sections obscured by boarding.

The storage units are understood to have been removed since the time of our inspection. Several metal shipping units sit at the North end of this part of the yard. They contain surviving fragments of Broomfield House's historic interiors. The metal units are rusting through in places, but recent inspection suggests that they are not leaking and that the contents remain in good condition.

BROOMFIELD HOUSE

BROX

Comment: The housing makes no architectural reference to the Broomfield Park estate generally, and is of low quality. It sits adjacent and inline with the stable block.

The storage units are of low quality and detract visually from the setting of the service yard. They obscure the service yard wall, and prevent the area being read as a single entity.

As has been noted in previous reports, the shipping containers are rusting through and this may be affecting the historic fabric stored in them.

Significance: The 20th Century garages and housing have a **detrimental** impact on the setting of the stables and estate yard generally. They are out of character with the more historic fabric and are unsympathetic to the listed setting of Broomfield Park generally. The garages have now been demolished.

Heritage Values: Evidential: detrimental.
Historical: illustrative – detrimental, associative – detrimental.
Aesthetic: detrimental.

**GENERAL NOTE – ACCESS TO THE INTERIOR OF THE 20th CENTURY HOUSES
COULD NOT BE GAINED**

4.1 GARDEN HOUSE – EXTERIOR

Description/observation:



- i. The garden house sits to the south-east corner of the service yard, it is joined to the main stable range at its east end. It is bounded by Broomfield Lane to the immediate east. The roof finish is missing, with an exposed membrane and tile battens visible. There is generally damage to the brickwork of the façade and chimney stack, with blown brick faces and missing pointing. The building is difficult to access and is obscured by thick vegetation.

4.2 GARDEN HOUSE – INTERIOR

Description/observation: The ground floor has a simple residential fit out, and it appears that this is the case at first floor level, though access was limited due to the staircase being in a state of disrepair. The condition of the interior spaces is generally poor. Though ceilings remain intact,

floorboards are missing in places, and the floors seem quite live.



i.

Front door to house (note – at the time of inspection, there was no lock on this door and it was propped open).



ii.

Remains of sash window to west end.



iii.

Underside of staircase and cupboard space.

iv.



Living room.

v.



Damage to treads and risers of staircase to first floor.



vi. Missing floorboards in living room.

BROOMFIELD HOUSE

BROX

Condition: Much of the building is constructed from reused materials, presumably reclaimed from the house following its reconstruction in the early 19th century, returning into the main stable range to the north end. The surviving room partitions and fittings appear to be early 20th century in date.

The interior of the garden house is generally in quite poor condition. The flights of stairs leading to the first floor are in a poor state of repair, with missing treads and risers. It was noted to be unsafe for use.

Comment: All of the internal spaces are not accessible, but the principal rooms survive at ground floor level in slightly better condition than those of the main stable range. The internal fittings and fixtures are present, though none are of any great significance in the narrative of the stables.

The first floor could not be surveyed, as the staircase was in an unsafe state of repair.

Significance: The garden house is of **limited** significance. It contributes to the narrative of the stable block, and may be contemporary with the stable's construction. It provides evidence of the way in which the estate and grounds have previously been used, and the way in which its uses have evolved over time.

Heritage Values: Evidential: limited.
Historical: illustrative – low, associative – limited.
Aesthetic: limited.

Ponds

1	Fishponds (Lower, Middle and Upper Ponds)
Masterlist Ref.	LCA 1/2/3 Drawing Ref: 1,4, 12
Designation	Broomfield Landscape Park GLHER NO: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 926 (E:530412 N:192666)
Description	<p>Three fishponds located in front (to the west) of Broomfield House. They are currently fed from the Yachting Lake to the north. The banks of the ponds are a mix of materials (stone, earth, slag, concrete) due to numerous repairs, especially in the 20th century. The Lower Pond was formerly called the Bathing Pond and the Upper Pond was previously referred to as Swan Lake. The Ponds appear to be in good condition and are a main feature of the gardens surrounding Broomfield House.</p>
Date	Pre-1754 - 2015
Historic background	<p>The three ponds were first recorded in Rocque's 1754 map, which seems to depict six ponds, all rectangular in shape but of different sizes, and with paths between them. The three westerly ponds have previously been interpreted as lawns or parterres, but all six features are illustrated the same. It is likely that the three current ponds were widened between 1754 and the 1801 inclosure plan to incorporate the ponds to the west, which were partially in-filled to create more space between the ponds and the western wall.</p> <p>In the 1865 Ordnance Survey map, the ponds are shown in greater detail as two long rectangular ponds with a short square pond in the centre (as depicted by Rocque 1754), rather than three equal sized rectangles (1801 Inclosure plan). The northern pond was also curved at its north end to reflect a boundary surrounding it.</p> <p>In 1908 a length of historic wall and two old gauged brick piers had been removed from the south side of the lower pond and the space between the outer boundary and the path to the south of the lake was levelled and gravelled. Despite these efforts this did not prevent problems on the bank edge, which were reported the following year.</p> <p>In 1911 the depth of one of the ponds was decreased and a settling pond had been excavated to the north-west of the Upper Pond to help purify the water. Despite this the water remained badly contaminated and bathing was stopped.</p>
Relationship to other assets	Also see Possible Fishponds/Parterres, Yachting Pond, Fishpond to south-west of Lower Pond, Settling Pond
Photo	Lower Pond



Middle Pond



Upper Pond



Significance of Asset	The three Ponds are one of the most historic assets in the Park and are the most prominent. They provide a central focus for the surrounding garden features. They may be evidence of Baroque water gardens, although this is disputed by the Parkland Consortium. At present these ponds are of local significance, but I believe further evidence should be obtained (on these ponds and the three potential ponds to the west) and their relevance on a national scale.
Evidential value	High
Historical value	High. While admittedly of lesser historic interest, are the disputes, verging on civil disobedience, which took place over the closure of the lower swimming lake, on grounds of pollution, and the ultimately unsuccessful attempts to remedy the matter during the first 30 years of the 20 th
Aesthetic values	High
Recommended Recording and Management Actions	This asset is one of the suite that comprised the early 17-18 th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

2	Possible Fishponds/Parterres
Masterlist Ref.	LCA 1/2/3 Drawing Ref: 14
Designation	Broomfield Landscape Park GLHER NO: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 303 926 (E:530375 N:192687)
Description	Situated between the West Wall and the Fishponds are two areas of lawn surrounded by flower beds and hedges and a Conservatory. These are intersected by several concrete paths. Previously this area may have been the location of three ponds similar to the Fishponds to the east or formal parterres. There is no visible trace on the ground of these potential ponds, but any remains may have been destroyed if the current ponds to the east have been widened and during the

construction of the Conservatory.

Date

1754 - 1801

Historic background

Rocque's map from 1754 appears to depicted six ponds in the centre of the park; all rectangular in shape but of different sizes, and with paths between them. These have been thought to have been three ponds and three lawns or parterres (based on their current use) but all six features are depicted the same. Elsewhere on the map, lawns are not shaded and planted gardens are represented with tree symbols, which these three potential 'parterres' do not have. It is likely that the three current ponds were widened after 1754 to incorporate the ponds to the west, which were partially in-filled to create more space between the ponds and the western wall.

The 1865 Ordnance Survey map shows the parterres to the west of the three fishponds as lawns surrounded by trees and hedges, much like today.

In August 1997 a geophysical survey of the parterres revealed an old path or road surrounding an oval island in the area to the west of the Middle Pond and four evenly spaced thin rectilinear high resistance anomalies interpreted as walls to the west of the Lower Pond. The survey concluded that the features found during the survey required excavation to confirm their accuracy (Stratascan, 1997).

Relationship to other assets

Also see Three Fishponds to the West of Broomfield House, Yachting Pond, Fishpond to south-west of Lower Pond, Settling Pond, West Wall, Bandstand, Conservatory

Photo





Significance of Asset

These potential ponds would change the appearance of the gardens and contribute towards our knowledge of water gardens. It would also highlight how fashions in garden design changed in the late 18th and early 19th century from ponds to parterres. Alternatively the parterres have remained in this condition and layout since the 18th century and are therefore a main historic feature of the garden.

Evidential value

High

Historical value

High

Aesthetic values

Low – not visible

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century ‘Baroque’ Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process. Investigations to test the results of the geophysical survey would be useful here as well as elsewhere in this area to more widely engage the public.

3

Fishpond to south-west of Lower Pond

Masterlist Ref.

LCA 3/7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER NO: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 925 (E:530316 N:192588)

Description

At the south end of the parterre, to the south-west of the lower pond, is a wide concrete path bounded on both sides by large shrubs and trees. It runs parallel to the southern boundary of the park from the Remembrance Garden to the West Field, at which point it passes through a gateway. In 1801 there was a fishpond aligned east to west in

this location, stretching from the centre of the lower pond through the wall and into the West Field. Due to the construction of a gateway in the West Wall in the late 19th century and ground levelling in the early 20th century, there are no visible traces of this pond.

Date 1801 - 1865

Historic background In 1754 there was a sinuous body of water (either a stream or large pond) located along the southern boundary of the Park, to the south of the current ponds. This was either reduced in size or replaced with a smaller pond between 1754 and 1801. This may be progressive formalisation of a previously natural watercourse.

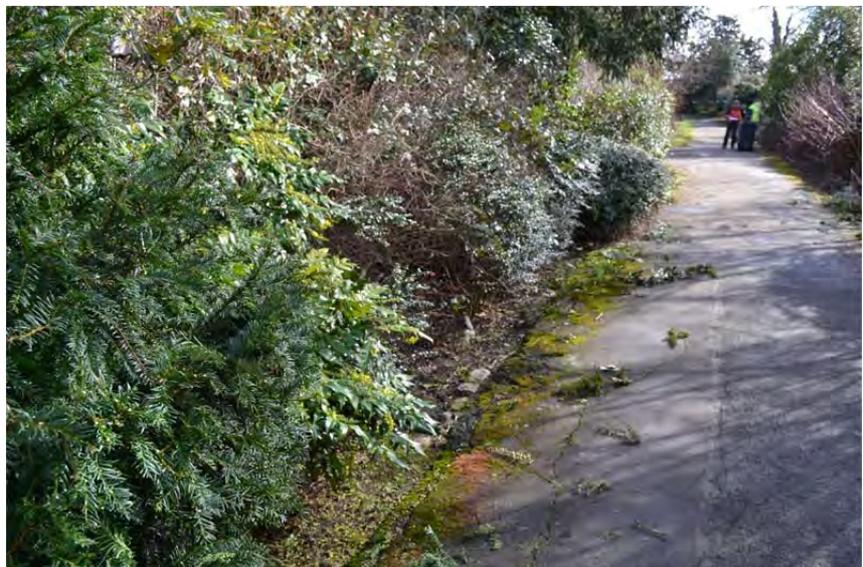
By 1865, the pond had been infilled and the West Wall had been rebuilt. The water was diverted to a new stream just outside of the southern garden walls that entered the West Field and extended along its entire southern boundary.

In 1908 a length of historic wall and two old gauged brick piers had been removed from the south side of the lower pond and the space between the outer boundary and the path to the south of the lake was levelled and gravelled. This would have destroyed any remaining visible trace of the former pond.

The quality of the 1865 OS maps tempts one to try and work back to Rocque but this is not a reliable methodology

Relationship to other assets Also see Possible Fishponds/Parterres, Three Fishponds to the west of Broomfield House, Yachting Pond, Settling Pond, Brick and Tile Wall on Powis Lane, Pond/Stream on Parkland Southern Boundary, Stream running along southern boundary of the Parkland

Photo



Significance of Asset It is unclear whether this was a functional pond or an aesthetic pond. Its location across the West Wall, extending into both the garden and the parkland is interesting. Apart from the 1801 inclosure map we have no evidence of this pond so its significance and what remains of the asset is uncertain.

Evidential value	High
Historical value	High
Aesthetic values	Low – not visible

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

4 Pond/Stream on Parkland Southern Boundary

Masterlist Ref.	LCA 3/12 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 303 925 (E:530377 N:192546)
Description	Running parallel to Broomfield Lane is a Brick and Tile Wall that was built in 1924. This acts as a type of revetment wall as the ground level in the park is higher than Broomfield Lane. On its northern side the wall is enclosed by trees, hedges and tall shrubs so it is not visible from the gardens. On its southern side is a concrete path and Broomfield Lane. In the 18 th century there was a pond in this location, which appears to have been the southern boundary of the formal gardens. Due to later landscaping and ground levelling there is no visible trace of this asset.
Date	1754 – 1801

Historic background

Rocque's map from 1754 depicts a sinuous body of water running parallel to Broomfield Lane and Powys Lane. It does not appear to connect with the Fishponds to the north or the natural stream to the south, but it seems to form the southern boundary of the formal gardens.

By 1801 the stream/pond was either reduced in size or replaced with a smaller pond between 1754 and 1801.

It was reverted back to a stream by 1865 map, by which time the fishpond (constructed between 1754 and 1801) had been in-filled and covered by a path and lawn. The new stream was situated just outside of the new southern garden walls, but it re-entered the West Field and extended along its entire southern boundary.

In 1908 a length of historic wall and two old gauged brick piers had been removed from the south side of the lower pond and the space between the outer boundary and the path to the south of the lake was levelled and gravelled. This, along with the construction of the boundary walls and the expansion of Broomfield Lane would have destroyed any remaining visible trace of the former pond/stream.

Relationship to other assets

Also see Possible Fishponds/Parterres, Three Fishponds to the west of Broomfield House, Brick and Tile Wall on Powis Lane, Stream running along southern boundary of the Parkland, Fishpond to south-west of Lower Pond, Remembrance Garden.

Photo



Significance of Asset

The stream appears to have been a designed feature as it did not connect with the Fishponds to the north or the natural stream to the south. This, and its sinuous shape suggests that it was aesthetic rather than purely functional. It could therefore be associated with the water gardens, which would make it of local and possibly national significance. There are no visible remains of the stream on the ground surface, and subsequent ground levelling, wall constructions, and landscaping are likely to have impacted upon any buried features, but further investigation of this feature is recommended to assess its significance as part of the water garden and as the original southern boundary of the garden.

Evidential value	High
Historical value	High
Aesthetic values	Low – not visible

**Recommended
Recording and
Management Actions**

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process

5	Canal
Masterlist Ref.	LCA 5 Drawing Ref: 31
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 305 927 (E:530555 N:192787)
Description	To the east of the Yachting Pond is an avenue of chestnuts that were planted in 1914. They border a shallow earthen dip which is the remains of a former canal that was excavated prior to 1754. In the centre of the avenue is an outside gym that was installed recently. This replaced a Fairy Cycle Track that was built on the avenue in 1937. Due to an area of wasteland to the east the avenue is not very visible and is overlooked by visitors.
Date	1754 - 1914
Historic background	<p>Rocque's 1754 map depicts a thin stretch of water, similar to a canal, to the north-east of the ponds. This extends up to the northern park boundary and separates the water garden from the north-east avenue and garden in Warrens Field.</p> <p>Between 1754 and 1801 the West Wall, which separated the formal gardens from the parkland, was removed at its northern end and a new wall was built to the west of the canal. This increased the area of the parkland up to the canal. The wall was removed by 1865, although the footpath remained and there was a line of trees where the wall had been. By 1896 the canal had been completely enclosed by a wall.</p> <p>In November 1914 the canal was infilled to create the Chestnut Walk.</p> <p>In 1937 a Fairy Cycle Track was built on the site but this appears to have been a temporary feature as nothing of this survives. A geophysical survey of this area in 1997 only identified this track and nothing below it.</p>
Relationship to other assets	Also see Three Fishponds to the west of Broomfield House, Wall to the West of the Canal, Yachting Pond, Settling Pond, Outside Gym, Fairy Cycle Track, Pond located between Alderman's Hill and the Park boundary.

Photo



Significance of Asset

The canal is one of the key historic features of the garden and appears to fulfil a similar function as a boundary for the formal garden as the Pond/Stream on the southern boundary. The earthen dip between the chestnuts suggest that the buried remains associated with the canal survive, although potentially damaged by tree roots and the creation of a fairy cycle track in 1937.

Evidential value

High

Historical value

High

Aesthetic values

Low- not visible

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process

6 Stream on Parkland Southern Boundary

Masterlist Ref. LCA 7 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 300 926 (E:530088 N:192683)

Description The southern boundary of the parkland consists of grass with interspersed trees. It is enclosed by an iron fence and is approximately the same level as Powis Lane. In the south-western corner of the parkland there are a number of subtle earthen banks and ditches which appear to have been weathered by waterlogging. These are likely to be the remains of a stream which was excavated along the southern boundary of the pond between 1801 and 1865 and infilled before 1914.

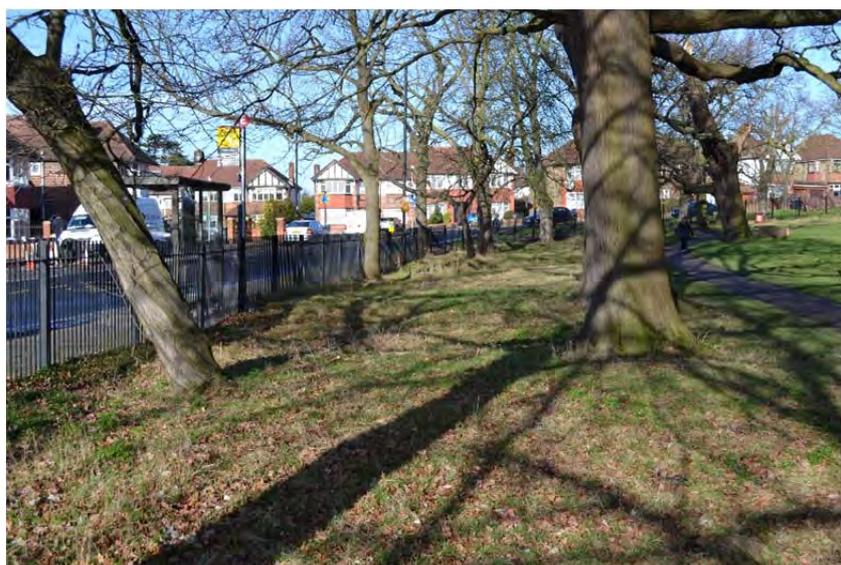
Date 1865 - 1914

Historic background The 1801 inclosure map depicted a small informal pond in the south-west corner of the park and a formal rectangular fishpond across the south-west corner of the garden and the south-east corner of the parkland. Between 1801 and 1865 the formal fishpond had been replaced by a stream which extended from the western extent of Broomfield Lane, along the southern parkland boundary to the small pond in the south-west corner.

The stream was infilled between 1896 and 1914. A blocked culvert in the West Wall suggests that the stream originally passed through this part of the wall.

Relationship to other assets Also see Three Fishponds to the west of Broomfield House, Fishpond to the south-west of lower pond, Pond/Stream on Parkland Southern Boundary, Two ponds located on western boundary, Brick and tile boundary wall on Powis Lane, West Wall.

Photo Earthworks on the site of the former stream/pond.



Blocked culvert at the south end of the West Wall.



Significance of Asset

The pond is linked to a series of water features in this area. It is an extension of the fourth fishpond and the 1801 pond. Its disjointed shape could suggest a practical use (draining of the parkland) or be the remains of an earlier feature not shown in the historic mapping. The earthworks in the south-west corner suggest that there are remains of the stream surviving, although they appear to be more complex than a simple linear stream/boundary ditch. Further investigation is required to ascertain significance.

Evidential value

Moderate to high.

Historical value

Moderate to high

Aesthetic values

Low – not visible to the untrained eye

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

7

Two Ponds on Parkland Western Boundary

Masterlist Ref.	LCA 7 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 300 928 (E:530087 N:192882) TQ 300 926 (E:530080 N:192677)
Description	<p>The south-western corner of the parkland consists of undulating marshy ground interspersed with trees and enclosed on its south side by an iron railing fence. Within this area are a number of subtle earthen banks and ditches which appear to have been weathered by waterlogging. These are likely to be the remains of a pond (excavated between 1754 and 1801) and a stream (excavated along the southern boundary of the pond between 1801 and 1865 and infilled before 1914). A concrete path separates this area from the manicured drier grass area of the parkland.</p> <p>In the centre of the western boundary is the site of another pond (excavated between 1754 and 1801 and in-filled between 1865 and 1883). Today it is the location of a park entrance consisting of an iron railed double gate and a concrete path. The ground rises at this point and there is no visible evidence of a former pond on the ground surface.</p>
Date	1801 - 1883
Historic background	<p>An inclosure plan from 1801 depicts two enclosed areas that look like ponds (or wide boundary ditches), on the western boundary of the parkland. One pond is located in the south-western corner of the Parkland and the other is positioned at the western end of The Avenue.</p> <p>The 1865 Ordnance Survey Map revealed these two assets as ponds. By this time the pond in the south-west corner of the park had been extended to run along most of the southern parkland boundary. Its shape suggests that it was stream running along the parkland boundary rather than a pond. This stream was infilled by 1914.</p> <p>Between 1865 and 1883 the pond at the western end of the avenue had been infilled.</p>
Relationship to other assets	Also see Three Fishponds to the west of Broomfield House, Fishpond to the south-west of lower pond, Pond/Stream on Parkland Southern Boundary, Stream on Parkland Southern Boundary, Entrance at west end of Avenue, The Avenue.
Photo	Facing north towards site of the pond at western end of the Avenue



Site of pond in south-west corner of the Parkland



Significance of Asset

The position of the northern pond is confusing as it is at the western end of the Avenue. There is no suggestion of its purpose in the historic mapping and further investigation is required to identify whether it was aesthetic and therefore part of the historic garden, or functional (for water drainage).

The southern pond at first seems functional as it is in a marshy area, but the earthen banks present on the site suggest that it could be more complex. Its association with the ponds to the east increase its potential significance but further investigation is required.

Evidential value

Moderate

Historical value

Moderate

Aesthetic values

Low – not visible to the untrained eye

Recommended Recording and

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque)

Management Actions

garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process. The multiplicity of water-management features suggests that further investigations on site would be valuable.

8 Alderman's Hill Pond

Masterlist Ref. LCA 7 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 305 928 (E:530556 N:192882)

Description To the north of the Yachting Pond is a raised area of grass and concrete paths enclosed on its north side by an iron railing fence. Running parallel to the fence, and beyond it Alderman's Hill, is an avenue of Oaks. The area has presumably been raised so it is the same level as the road and to provide a pleasant walk way. This was constructed on the site of a former pond which was in-filled between 1896 and 1914. On the site of the pond between the pathway and the fence there is a subtle earthen dip which could be a result of made ground used to fill in the pond sinking. The former pond fed the three Fishponds and it is likely that the water used to fill the ponds has since been culverted.

Date 1801 – 1896

Historic background An inclosure plan from 1801 depicts a small enclosed area to the north of the canal. This is shown as a pond in 1865. At this time a path ran over or through the pond at its eastern end to connect Alderman's Hill with Broomfield House. It seemed connected to the fishpond on the north side of Alderman's Hill and in turn it fed the canal to the south. The pond was infilled between 1896 and 1914, possibly during the construction of the Yachting Lake.

Relationship to other assets Also see Three Fishponds to the west of Broomfield House, Yachting Pond, Avenue of Oaks along Alderman's Hill, Canal

Photo



Significance of Asset This pond seems to have fed the Fishponds prior to the installation of the Yachting Pond. As it did not appear in Rocque's map it is unlikely to

be an original feature. The site of the pond has since been built up and levelled but remains of the pond may survive below the build-up deposits.

Evidential value Low-moderate
Historical value Low-moderate
Aesthetic values Low – not visible

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

9

Settling Pond

Masterlist Ref.

LCA 10 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 927 (E:530427 N:192772)

Description

To the north-west of the Upper Pond is an area of undulating grass with interspersed shrubs and trees. To the west there is a lavatory, first built and replaced between 1958 and 1970. Previously this was the site of a settling pond that was built in 1911 and infilled in 1947. It was intended to clean the fishponds water to enable swimming, but it was unsuccessful and in 1921 a Bowling and Tennis Pavilion was built over the pond. The earthworks in this area are likely to be associated with the in-filling of the settling pond which suggests that archaeological remains are likely to survive.

Date

1911 - 1947

Historic background

In 1911 the depth of one of the fishponds was decreased and a settling pond had been excavated to help purify the water. However, despite this the water was badly contaminated and bathing was stopped. Two new walls were built to replace a curved wall around the Upper Lake and enclose the settling pond.

In 1921 a Bowling and Tennis Pavilion, consisting of an old army hut, was built over the settling pond.

The Settling pond was in-filled in 1947 and Pavilion demolished, replaced with a sump and lavatories. The lavatories were replaced with a new structure between 1958 and 1970.

Relationship to other assets

Also see Three Fishponds to the West of Broomfield House, Three additional fishponds/parterres, Yachting Pond, West Wall, Conservatory, Bowling Green Pavilion, Wall to the north and west of settling pond, Curved wall to the north of the Upper Pond.

Photo



Significance of Asset	Although this asset is part of the history of the fishponds it is a relatively modern feature. It started out as a functional element of the garden but became an aesthetic lake, especially when the pavilion was built on stilts over the pond. The earthworks in the area suggest that there are archaeological remains associated with the pond surviving beneath the ground surface, but these are not considered to be of great significance.
Evidential value	Moderate
Historical value	Moderate
Aesthetic values	Moderate - high
Recommended Recording and Management Actions	This asset belongs to the 19—20 th century and is intrinsically less significant than earlier features of the 17-18 th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

10	Yachting Pond
Masterlist Ref.	LCA 10 Drawing Ref: 67
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 928 (E:530486 N:192824)
Description	Situated to the north of the three pre-1754 Fishponds is an oval lake built in 1910 for model yachts. The lake is surrounded by a concrete path and interspersed willow trees. To the north of the lake is a stand that was constructed as a shelter in 1936 but now only partially survives.
Date	1910 - 2015
Historic background	In 1910 a large model yachting pond was constructed to the north of the fishponds. It was probably at this time that the Alderman's Hill Pond was infilled and the diversion of water into the Yachting Lake may also explain why the canal was in-filled.
Relationship to other assets	Also see Three Fishponds to the West of Broomfield House, Alderman's Hill Pond, Settling Pond, Canal, Wall to the north and west of Settling Pond.
Photo	
Significance of Asset	This asset has become a main asset of the Park, but it is not considered to be part of the historic water garden features. Its creation diverted water away from the canal and the Alderman's Hill Pond which were then infilled. It is one of the first large developments of the 20 th century Park and highlights the fashion for model yachts at that time. It is therefore a significant local 20 th century Park feature, but not of national or regional importance.
Evidential value	Moderate to high

Historical value Moderate to High

Aesthetic values Moderate to high

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process. This pond is one of the later assets that should be conserved as-is.

Parkland (West Field)

11

The Avenue

Masterlist Ref.

LCA 7/8 Drawing Ref: 38, 39

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 302 927 (E:530255 N:192772)

Description

Running east to west in the centre of the West Field is a lime avenue. It was first planted with Elms prior to 1754, but these were replaced in 1977 after the Elms Disease destroyed the specimens. Today the trees are rather sparse, but the four rows of trees are still a prominent feature of the parkland. In addition to the trees, the avenue has been levelled to create a relatively flat causeway, interrupting the natural incline of the parkland. At its east end an archway was built in West Wall in 1913, which was then removed and left partially open prior to 1965, to provide a vista from the Avenue towards the House. To the west there was a pond (excavated between 1754 and 1801 and in-filled between 1865 and 1883) at the point where the Avenue met the park boundary and it is uncertain whether this pond was aesthetic or used for water collection. Today it is the location of a park entrance consisting of an iron railed double gate and a concrete path.

Date

1754 - 2015

Historic background

Rocque's 1754 map depicts an elm avenue defined by four rows of trees (two on each side) running through the centre of the West Field. According to a geophysical survey of the parkland, there was a turning circle at the end of the Avenue, just inside the gates in the west wall (Parklands Consortium, 1997). This may explain why the 1754 additional ponds were in-filled.

In 1912 to 1936, a formal footpath was established across the parkland from the Village Gates in the north-west corner to the south-west corner of the Lower Pond.

In 1977 the damage elms from the avenue in the west field (parkland) were removed and replaced by limes.

Relationship to other assets

Also see West Wall, Two Ponds located on western boundary, Entrance at west end of Avenue, Footpath running across the Parkland, Three Field Boundaries separating the Parkland.

Photo



Significance of Asset

The Avenue is the main historic feature of the parkland and although it is still extant it is in poor condition. It started to decline in 1865 with the construction of field boundaries around and through it and then again in 1912 with the introduction of a north-west to south-east footpath across the parkland and through the avenue. The death of the Elms and the diversion of water (Yachting Pond), which has most likely prevented any trees from flourishing in the parkland) have contributed to the waterlogging, which in turn has reduced the Avenue to row of trees that cannot be easily distinguished from the surrounding parkland trees. However, the causeway remains flat and is likely to contain former surfaces/artefacts.

Evidential value

Moderate to high

Historical value

Moderate to High

Aesthetic values

Moderate to high

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

12 Two Buildings on Parkland Northern Boundary

Masterlist Ref. LCA 7 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 302 929 (E:530252 N:192966) TQ 304 929 (E:530423 N:192920)

Description The northern boundary of the parkland consists of a raised area of meadow grass and a concrete path enclosed on its north side by an iron railing fence. There are oaks of various stages growing either side of the path to create an avenue (first planted in 1925). The area has presumably been levelled to provide a pleasant walk way. On this site in 1754 there were two buildings which were demolished by 1801. Although there is no visible evidence of these buildings, there may be some associated buried remains as this area has been partially raised.

Date 1754 - 1801

Historic background Rocque's 1754 map depicts two buildings located along the northern boundary of the parkland, and an entrance to the west of the western building. The origin of these buildings is unknown but the Rocque map does not depict outbuildings, suggesting that these structures were considered of significance at the time. Both these buildings had been demolished by 1801.

Relationship to other assets See also Village Gates, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill, Orchard or planted woodland in north-west corner.

Photo



Significance of Asset These buildings could be a remnant of pre-estate buildings or early parkland structures, such as lodges. The site has not been subjected to intense landscaping which suggests that some buried remains may survive. These buildings would contribute to the early origins of the

estate significantly.

Evidential value

High

Historical value

High

Aesthetic values

Low – not really visible

**Recommended
Recording and
Management Actions**

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

This asset is of lesser intrinsic significance, but is likely to survive below the ground surface as archaeological remains, and would be a suitable subject for a community archaeology programme.

13

Orchard/Woodland in Parkland North-West Corner

Masterlist Ref.

LCA 7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 301 929 (E:530157 N:192953)

Description

The north-west corner of the parkland consists of an earthen level platform terraced into the gentle hillslope. The area is covered with long meadow grass with trees of different species and ages and a path which winds through the trees to run parallel with the park boundary. On Alderman's Hill there is an entrance to the park, which was previously the site of the Village Gates and then the Coronation Gates. It is now an iron railing double gate. This area was formerly the site of Park Cottages (built in 1896 but on the site of buildings dating back to at least 1865) and before that an 18th century orchard or woodland.

Date

1754 – 1801?

Historic background

Rocque's 1754 map depicts an orchard or planted woodland in the north-western corner of the parkland with a building (now outside of the current park boundary) situated half in the road and half in the orchard. The woodland appears to be cut off by the Avenue which may suggest that it pre-dated it.

Unfortunately the 1801 inclosure plan did not illustrate vegetation so it is not known whether the orchard/woodland was still present at this time. However, it appears to be contemporary with the building in the road and the two buildings along the northern boundary of the parkland, which have all been demolished by this time. This is confirmed in the 1865 Ordnance Survey Map, which reveals that the majority of the trees had been felled and a building and yard had been built on the site.

Relationship to other assets

See also Village Gates, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill, Building and Yard in north-west corner (1865), Building and Yard in north-west corner (1883), Park Cottages, Three Field Boundaries separating the Parkland.

Photo



Significance of Asset

Like the buildings along the northern boundary of the parkland, the orchard/woodland could be a remnant of pre-estate landscape or early parkland features. Although the western part of the orchard has been disturbed by the construction of the Park Cottages, the eastern half remains relatively untouched by intense landscaping which suggests that some buried remains may survive. The exploration of this area/asset would contribute to the early origins of the estate significantly.

Evidential value

High

Historical value

High

Aesthetic values

Low – not really visible

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

14	Three Field Boundaries in Parkland
Masterlist Ref.	LCA 7 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 302 929 (E:530239 N:192904) TQ 302 926 (E:530220 N:192665) TQ 303 927 (E:530354 N:192791)
Description	The parkland is a large open grass area with a central lime avenue and several scattered parkland trees. The land gentle slopes to the south and there is no evidence of any former field boundaries or ditches. There is an earthwork in the south-eastern corner of the parkland that looks like a boundary bank, but it is not on the site of one of the 1865 field boundaries.
Date	1865 - 1896
Historic background	<p>In 1865 the parkland had been divided up into three large fields, with one of the boundaries cutting across the avenue. This suggests that the parkland was more functional as farmland at this time rather than for aesthetic purposes. The north-western field boundary appears to sit on the line of the boundary that enclosed the orchard as depicted by Rocque.</p> <p>By 1896 these boundaries had been removed and the parkland appeared to be one open area. It was still used as pasture land after the opening of the Park as in 1911-1912 the neighbours complained about the 'bleating of the lambs' on the West Field.</p>
Relationship to other assets	See also The Avenue, Orchard/Woodland in Parkland North-West Corner, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill.
Photo	
Significance of Asset	The field boundaries were most likely temporary features and are

therefore not significant to the overall history of the parkland. The earthworks in the south-eastern corner however, are quite substantial and there is nothing to suggest their origin in the historic mapping. The history of the parkland is just as important as the gardens and the house (it has been modified and landscaped less so it may contain better preserved archaeological remains) to the history of the Park and the estate.

Evidential value Low
Historical value Low
Aesthetic values Low – not really visible

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

15	Building/Yard in Parkland North-West Corner
Masterlist Ref.	LCA 7 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 301 929 (E:530115 N:192953)
Description	The north-west corner of the parkland consists of an earthen level platform terraced into the gentle hillslope. The area is covered with long meadow grass with trees of different species and ages and a path which winds through the trees to run parallel with the park boundary. On Alderman's Hill there is an entrance to the park, which was previously the site of the Village Gates and then the Coronation Gates. It is now an iron railing double gate. This area was formerly the site of Park Cottages, built in 1896 but on the site of a building and yard that dates back to at least 1865, and before that an 18 th century orchard or woodland. The level platform is the remnants of Park Cottages, which may have reused elements of the previous buildings (walls, foundations).
Date	1865
Historic background	<p>By 1865, and possibly by 1801, the orchard or planted woodland in the north-western corner of the parkland had been felled and a large and a small building separated by a path and surrounded by gardens had been constructed alongside Powis Lane. They appeared to be in separate ownership than the Parkland or have been leased to tenants.</p> <p>Between 1865 and 1883 the larger building had been demolished and replaced with a smaller building, or it had been substantially reduced.</p> <p>By the 1896 Ordnance Survey map the building in the north-west corner had been extended and within the two enclosures there were at least seven structures which formed the terrace called Park Cottages.</p>
Relationship to other assets	See also Village Gates, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill, Building and Yard in north-west corner (1883), Park Cottages, Orchard or Woodland in north-west corner, Three Field Boundaries separating the Parkland.

Photo



Significance of Asset

These buildings are interesting as they provide a different element to the parkland; tenant housing. The survival of the level platform upon which they sat suggests that the buildings foundations may survive. Although they have been significantly impacted upon by the later Park Cottages, they may have reused elements of the previous buildings (walls, foundations). Depending on the condition of the foundations and the yard features, this asset may have local significance and would be ideal for community archaeology.

Evidential value

Moderate to High

Historical value

Moderate to High

Aesthetic values

Moderate – not visible but easily accessible via a community archaeology programme

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is of lesser intrinsic significance, but is likely to survive below the ground surface as archaeological remains, and would be a suitable subject for a community archaeology programme.

16

Building/Yard in Parkland North-West Corner

Masterlist Ref.

LCA 7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 301 929 (E:530115 N:192953)

Description

The north-west corner of the parkland consists of an earthen level platform terraced into the gentle hillslope. The area is covered with long meadow grass with trees of different species and ages and a path which winds through the trees to run parallel with the park boundary. On Alderman's Hill there is an entrance to the park, which was previously the site of the Village Gates and then the Coronation Gates. It is now an iron railing double gate. This area was formerly the site of Park Cottages, built in 1896 but on the site of a building and yard that dates back to at least 1865 but was modified between 1883 and 1896. Before this it was an 18th century orchard or woodland. The level platform is the remnants of Park Cottages, which may have reused elements of the previous buildings (walls, foundations).

Date

1883

Historic background

By 1865, and possibly by 1801, the orchard or planted woodland in the north-western corner of the parkland had been felled and a large and a small building separated by a path and surrounded by gardens had been constructed alongside Powis Lane. They appeared to be in separate ownership than the Parkland or have been leased to tenants.

Between 1865 and 1883 the larger building had been demolished and replaced with a smaller building, or it had been substantially reduced.

By the 1896 Ordnance Survey map the building in the north-west corner had been extended or replaced and within the two enclosures there were at least seven structures which formed the terrace called Park Cottages.

Relationship to other assets

See also Village Gates, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill, Building and Yard in north-west corner (1865), Park Cottages, Orchard or Woodland in north-west corner, Three Field Boundaries separating the Parkland.

Photo



Significance of Asset

These buildings are interesting as they provide a different element to the parkland; tenant housing. The survival of the level platform upon which they sat suggests that the buildings foundations may survive. Although they have been significantly impacted upon by the later Park Cottages, they may have reused elements of the previous buildings (walls, foundations). Depending on the condition of the foundations and the yard features, this asset may have local significance and would be ideal for community archaeology.

Evidential value

Moderate to High

Historical value

Moderate to High

Aesthetic values

Moderate – not visible but easily accessible via a community archaeology programme

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is of lesser intrinsic significance, but is likely to survive below the ground surface as archaeological remains, and would be a suitable subject for a community archaeology programme.

17

Park Cottages

Masterlist Ref.

LCA 7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 301 929 (E:530115 N:192953)

Description

The north-west corner of the parkland consists of an earthen level platform terraced into the gentle hillslope. The area is covered with long meadow grass with trees of different species and ages and a path which winds through the trees to run parallel with the park boundary. On Alderman's Hill there is an entrance to the park, which was previously the site of the Village Gates and then the Coronation Gates. It is now an iron railing double gate. This area was formerly the site of Park Cottages, built in 1896 but on the site of a building and yard that dates back to at least 1865. Before this it was an 18th century orchard or woodland. The level platform is the remnants of Park Cottages, which may have reused elements of the previous buildings (walls, foundations).

Date

1896-1970

Historic background

By 1865, and possibly by 1801, the orchard or planted woodland in the north-western corner of the parkland had been felled and a large and a small building separated by a path and surrounded by gardens had been constructed alongside Powis Lane. They appeared to be in separate ownership than the Parkland or have been leased to tenants.

Between 1865 and 1883 the larger building had been demolished and replaced with a smaller building, or it had been substantially reduced.

By the 1896 Ordnance Survey map the building in the north-west corner had been extended or replaced and within the two enclosures there were at least seven structures which formed the terrace called Park Cottages.

Between 1958 and 1970 the Park Cottages located in the north-west corner of the parkland had been removed and the land was incorporated into the parkland.

Relationship to other assets

See also Village Gates, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill, Building and Yard in north-west corner (1865), Building and Yard in north-west corner (1883), Orchard or Woodland in north-west corner, Three Field Boundaries separating the Parkland.

Photo



Significance of Asset

These buildings are interesting as they provide a different element to the parkland; tenant housing. The survival of the level platform upon which they sat suggests that the buildings foundations may survive. Although they have significantly impacted any earlier buildings, they may contain elements of these structures (walls, foundations, surfaces). Depending on the condition of the foundations and the yard features, this asset may have local significance and would be ideal for community archaeology.

Evidential value

Moderate to High

Historical value

Moderate to High

Aesthetic values

Moderate – not visible but easily accessible via a community archaeology programme

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is of lesser intrinsic significance, but is likely to survive below the ground surface as archaeological remains, and would be a suitable subject for a community archaeology programme.

18

West Wall

Masterlist Ref.

LCA 1/2/3/7/8/10 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building West Walls and North Wall to Broomfield Park GLHER No: ML0819426

NGR/Location

TQ 303 926 (E:530358 N:192690)

Description

The West Wall is a prominent feature in the Park as it separates the formal gardens from the Parkland. It is orientated north-east to south-west and spans more than half the width of the Park in the centre. It is most visible from the Parkland to the west where it is unobstructed. To the east it is concealed from the ponds and House by a hedge. Between the wall and the hedge there is a large footpath which was the site of three parterres or three additional fishponds. Although the wall is at least 18th century, the wall has been patched, pointed and rebuilt several times as can be identified by the various bonds visible in the wall. The middle section of the wall has been completely rebuilt following the construction and the removal of new 'Tudor' style archway and two additional vista breaks. Along the length of the wall there are some modern brick piers which were probably installed in the wall when the buttresses were added in 1945. The southern end of the wall was built after 1801, following the infilling of a pond that was in this location. A culvert was added at its southern extent to enable a stream to pass beneath the wall. This is still visible but it has been blocked. Between 1934 and 1936 another archway was built to the north of the culvert.

Date

1754 - 2015

Historic background

The West Wall first appeared on Rocque's 1754 map as a tree lined wall to the west of the six ponds (GLHER No: ML081942; NGR: TQ 304 926). It extended across the width of the park from north to south and it divided the houses and the gardens from the parkland. The construction and bricks of the wall are described in the GLHER as follows: *18th century high red brick wall with a curved slope at the top to flat coping of bricks laid on the sides. At intervals there are coped square piers with later sloped buttresses.*

By the 1801 inclosure plan the northern end of the West Wall had been removed. This increased the area of the parkland up to the canal.

In 1913 a new 'Tudor' style archway was placed into the long West Wall opposite the House to provide a link between the park and the garden. Two further holes made either side of the archway although these are not shown on the historic mapping.

Between 1934 and 1936 an archway at south end of west wall was introduced on the site of a former pond. Adjacent to the archway is a blocked culvert which suggests a former opening for the stream represented in the 1865 OS map.

In 1945 several buttresses were added to the northern half of the wall to provide support.

A photo from 1965 shows very little of the wall opposite the Middle Pond and only a few piers associated with the Tudor Archway. It is possible

at this time that the removal of the archway included the removal of a large section of the wall which was later rebuilt.

Relationship to other assets

See also Three Fishponds to the west of Broomfield House, Possible Fishponds/Parterres, Brick and Tile Wall on Powis Lane, Pond/Stream on Parkland Southern Boundary, Stream running along southern boundary of the Parkland, The Avenue, Wall to the north-east of Settling Pond, West Wall (North End) and Structure

Photo

Internal face of the northern end of the West Wall



External face of the southern end of the West Wall



Site of the 1913 new 'Tudor' style archway in the West Wall



Pre-1965 break to enable a new vista from the drive to the Parkland



1934-1936 archway and blocked culvert at south end of West Wall.



Significance of Asset	The West Wall is one of the main historical features of the Park, along with the Fishponds, the House and its enclosure and the Avenue. It is also a listed building. Although it has been rebuilt on many occasions it continues its original function to separate the Parkland from the formal gardens. The breaks in the middle of the wall are unfortunate as they are not origin and there is no visible trace of the northern section of the wall which was demolished between 1754 and 1801.
Evidential value	High
Historical value	High
Aesthetic values	High, could be improved via careful conservation and restoration
Recommended Recording and Management Actions	This asset is one of the suite that comprised the early 17-18 th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

19

West Wall (North End) and Structure

Masterlist Ref.

LCA 8 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building West Walls and North Wall to Broomfield Park GLHER No: ML0819426

NGR/Location

TQ 304 927 (E:530418 N:192791)

Description

The West Wall is a prominent feature in the Park as it separates the formal gardens from the Parkland. It is orientated north-east to south-west and spans more than half the width of the Park in the centre. It originally spanned the entire width of the Park, but the northern half of the wall was demolished between 1754 and 1801. Today the wall is most visible from the Parkland to the west where it is unobstructed. To the east it is concealed from the ponds and House by a hedge. Between the wall and the hedge there is a large footpath which was the site of three parterres or three additional fishponds. Although the wall is at least 18th century, the wall has been patched, pointed and rebuilt several times as can be identified by the various bonds visible in the wall. The middle section of the wall has been completely rebuilt following the construction and the removal of new 'Tudor' style archway and two additional vista breaks. Along the length of the wall there are some modern brick piers which were probably installed in the wall when the buttresses were added in 1945. The alignment of the northern half of the wall is today visible as a path that was laid out between 1896 and 1914. This was likely to be part of the park construction to separate the new Yachting Lake from the lawn tennis courts. Today it is to the east of the Bowling Green, Pavilion and the Tennis Courts. .

Date

1754

Historic background

The West Wall first appeared on Rocque's 1754 map as a tree lined wall to the west of the six ponds (GLHER No: ML081942; NGR: TQ 304 926). It extended across the width of the park from north to south and it divided the houses and the gardens from the parkland. The construction and bricks of the wall are described in the GLHER as follows: *18th century high red brick wall with a curved slope at the top to flat coping of bricks laid on the sides. At intervals there are coped square piers with later sloped buttresses.*

To the north-west of the Upper Pond, within the West Wall, is a small square feature, which the wall kinks around. It is not shaded as dark as a building suggesting that it is a garden feature. Both this and the northern half of the wall had been removed by the 1801 inclosure plan increasing the area of the parkland up to the canal.

Relationship to other assets

See also Three Fishponds to the west of Broomfield House, Possible Fishponds/Parterres, Settling Pond, The Avenue, The Bowling Green and Pavilion, Wall to the north-east of Settling Pond, West Wall, Yachting Pond, Canal, Lawn tennis courts on West Field.

Photo



Significance of Asset

The West Wall is one of the main historical features of the Park, along with the Fishponds, the House and its enclosure and the Avenue. It is also a listed building. Although it has been rebuilt on many occasions it continues its original function to separate the Parkland from the formal gardens. The removal of the northern half of the wall extended the parkland and highlighted the need for more pasture land than formal garden. The garden feature within the wall is intriguing but it is on the site of the former settling pond so no archaeological remains would have survived. It is possible that the early 18th century Pavilion (as interpreted by Pevsner) now in the eastern wall of the House enclosure could have been moved from this location as it is first shown here in the 1865 map.

Evidential value

High

Historical value

High

Aesthetic values

High, could be improved via careful conservation and restoration

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

20

Village Gates

Masterlist Ref.

LCA 7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 301 929 (E:530162 N:192984)

Description

The north-west corner of the parkland consists of an earthen level platform terraced into the gentle hillslope. The area is covered with long meadow grass with trees of different species and ages and a path which winds through the trees to run parallel with the park boundary. This area was formerly the site of Park Cottages, built in 1896 but on the site of a building and yard that dates back to at least 1865. Before this it was an 18th century orchard or woodland. To the east of the platform on Alderman's Hill there is an entrance to the park, which was previously the site of the Village Gates. It is now an iron railing double gate. In front of the gate is a concrete path situated on a levelled causeway which runs along Alderman's Hill. There are oaks of various stages growing either side of the path to create an avenue (first planted in 1925).

Date

1914 - 1953

Historic background

Rocque's map of 1754 showed an entrance to the parkland to the west of a building that may have been a lodge. This was further to the east than the current entrance.

Between 1896 and 1914 the Village Gates were built to the east of the Park Cottages in the north-west corner of the parkland. This is likely to have been when a footpath was laid out across the West Field from the Village Gates to the Lower Pond in 1912.

In 1953 the Village Gates were removed. There is anecdotal evidence of a set of gates referred to as Coronation Gates on Alderman's Hill. There is some confusion within the records as to their location which could be half way along Alderman's Hill or replacing the former Village Gates in the north-west corner.

Relationship to other assets

See also Park Cottages, Footpath running across the parkland, Avenue of Oaks along Alderman's Hill, Building and Yard in north-west corner (1865), Building and Yard in north-west corner (1883), Orchard or Woodland in north-west corner, Three Field Boundaries separating the Parkland.

Photo



Significance of Asset

The Village Gates have been removed and what is left is not locally, regionally or nationally significant. The removal of the gates and the footpath across the parkland has increased the setting of the Avenue. The earlier entrance (1754) to the east has more potential significance.

Evidential value

Low to moderate

Historical value

Low to moderate

Aesthetic values

Low to moderate

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

21

Park Entrance (West End of Avenue)

Masterlist Ref.

LCA 7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 300 928 (E:530090 N:192877)

Description

In the centre of the western boundary is an entrance to the park which consists of an iron railing double gate and a concrete path. The ground level naturally rises at this point. The gate, which is at the end of the Avenue, is on the site of a pond (excavated between 1754 and 1801 and in-filled between 1865 and 1883) and there is an earthen dip to the south of the gate which may be the remains of this pond.

Date

1914 - 2015

Historic background

Prior to the 1914 Ordnance Survey Map, there was no evidence of an obvious entrance along the western boundary of the Parkland. There is a possible suggestion of one in the 1865 and 1883 Ordnance Survey Maps, but not in the 1801 inclosure map. Instead, there was a pond at this junction. The pond was infilled between 1865 and 1883.

Unlike other entrances to the Park, the minutes do not detail the construction of any gates on this site, suggesting that it was not considered a prominent entrance.

Relationship to other assets

Also see Two ponds located on western boundary, The Avenue, Park Cottages.

Photo



Significance of Asset

The entrance to the park has no historic or aesthetic significance. However, the site upon which it sits could have some local significance. Its location at the western end of the Avenue and on the site of a former pond could contain archaeological remains associated with the early developments of the parkland.

Evidential value	Low to moderate
Historical value	Low to moderate
Aesthetic values	Low to moderate

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

22 Central Parkland Footpath

Masterlist Ref. LCA 7 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 302 927 (E:530240 N:192798)

Description The parkland is a large open grass area with a central lime avenue and several scattered parkland trees. The land gentle slopes to the south and there is no evidence of a central footpath (laid out in 1912 and removed by 1936). There is an earthwork in the south-eastern corner of the parkland that looks like a boundary bank, but it is not on the site of the footpath. The footpath extended from the contemporary Village Gates (which have also been removed) to the Lower Pond.

Date 1912- 1936

Historic background Prior to 1912, the Parkland was used as pasture land and in this year there were complaints from the neighbours concerning the 'bleating of the lambs' on the West Field. This may have resulted in the removal of stock and the installation of a new gravel path linking the Powis Lane entrance by the Lower Pond across the west field towards the Village Gates on Alderman's Hill. The pathway did not last long as it was removed between 1936 and 1957.

Relationship to other assets See also The Avenue, Orchard/Woodland in Parkland North-West Corner, Village Gates, Three Fishponds to the west of Broomfield House, West Wall, Avenue of Oaks along Alderman's Hill, Park Cottages.

Photo



Significance of Asset The gravel was most likely a temporary feature and is therefore not significant to the overall history of the parkland. It may have been associated with the Village Gates, but these have also been removed. The pathway crossed the Avenue, which diminished its setting, so its

removal is considered positive.

Evidential value Low

Historical value Low

Aesthetic values Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

The pathway crossed the Avenue, which diminished its setting, so its removal is considered positive

Gravel Pit (Warrens Field)

23	Northern end of Broomfield Lane
Masterlist Ref.	LCA 9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 305 927 (E:530573 N:192725)
Description	<p>The site of the former Warren's Field is today a levelled grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. On the western bank there is a row of concrete steps used as a viewing area for the sports field. The earthen bank rises to a concrete path and a hedge which separates the field from the Crazy Golf. To the south of this is an overgrown waste land. The path, which was laid out between 1914 and 1936, follows the line of a 1599 road. This road in 1599 extended straight on at the point where today Broomfield Lane meets Broomfield Avenue, through the current southern end of the Children's playing field to the east wall of the House enclosure. Here there was a T junction where it continued southwards to join its current layout but also northwards along the wall bounding the east lawn towards Alderman's Hill. The local studies archive contains architects drawings for a major art deco style pavilion overlooking the sports field, but this was never built.</p>
Date	1599 - 1754
Historic background	<p>In a map from 1599, <i>A Survey of Woods and Groves of Edmonton, Tottenham and Enfield in Middlesex</i>, Broomfield House (Brome House) is depicted as a substantial building to the north-west of a woodland that is situated between the Pymmes Brook to the south, Green Lanes to the east, and Broomfield Lane to the north. It appears from the Survey that Broomfield Lane previously extended straight on at the point where today Broomfield Lane meets Broomfield Avenue, through the current southern end of the Children's playing field to the east wall of the House enclosure. Here there was a T junction where it continued southwards to join its current layout but also northwards along the wall bounding the east lawn towards Alderman's Hill.</p> <p>Rocque's 1754 map depicts Broomfield House located adjacent to a road, which seems to be a continuation of the newly aligned Broomfield Lane. It had been altered from its original route in 1599 to only extend round the southern boundary of the estate and not continue northwards along the later east lawn. The lane does however extend to the north-east past Broomfield House and terminates at the ponds; but there is no suggestion of a gate or boundary separating the road from the ponds.</p> <p>Any remains of north end of this road have since been removed and destroyed by the gravel pit, excavated in 1854.</p>
Relationship to other assets	Garden and smaller tree lined avenue, Building and garden in south-east corner, Gravel Pit, Brick enclosure surrounding Broomfield House, Driveway from Broomfield Lane to Broomfield House, Crazy Golf, Pitches of former gravel pit.

Photo



Significance of Asset

The road is unlikely to survive beneath the children’s play area due to the excavation of the gravel pit, but traces of the T junction and the northern half of the road may survive beneath the pathway on the eastern side of Warren’s field. If the road does survive, this is one of two assets (the other is Broomfield House) we can confirm on the 1599 map as remaining in situ. This would have local significance by enhancing the history of Broomfield Park.

Evidential value

High

Historical value

High

Aesthetic values

Low to moderate – not visible but may survive below ground

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century ‘Baroque’ Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

24

North-East Avenue

Masterlist Ref.

LCA 9 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 306 927 (E:530695 N:192759)

Description

The site of the former Warren's Field is today a levelled grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. On the western bank there is a row of concrete steps used as a viewing area for the sports field. The earthen bank rises to a concrete path and a hedge which separates the field from the Crazy Golf. To the south of this is an overgrown waste land. On the northern bank, to the north of the concrete path, is an Avenue of Oaks planted in 1925. In 1754 there was an avenue running diagonally across the northern half of the current sports field. Although this avenue was felled between 1754 and 1854, any further archaeological remains associated with the avenue would have been destroyed by the Gravel Pit.

Date

1754 - 1854

Historic background

Rocque's map of 1754 depicts a tree lined avenue that extends from the south end of the canal to the north-eastern corner of the park. Between the canal and the avenue is a planted garden and another smaller tree lined avenue.

It is not certain on the 1801 inclosure plan whether the avenue was still present at this date as the map did not illustrate vegetation. However, the avenue would have been felled when the area was leased and extracted for gravel in 1854.

Relationship to other assets

Garden and smaller tree lined avenue, Building and garden in south-east corner, Gravel Pit, Brick enclosure surrounding Broomfield House, Canal, Avenue of Oaks along Alderman's Hill, Pitches of former gravel pit.

Photo



Significance of Asset	The site of Warren's Field is often overlooked when it comes to the history of the Park and there appears to have been a number of garden features and buildings on the site. These may be significant to the history of the Park but unfortunately any archaeological remains would have been destroyed by the Gravel Pit and the levelling of the playing field.
Evidential value	Low – destroyed
Historical value	Low – destroyed
Aesthetic values	Low not visible
Recommended Recording and Management Actions	<p>This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.</p> <p>This asset has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.</p>

25	Garden and Avenue in North-West corner of Warrens Field
Masterlist Ref.	LCA 9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 306 928 (E:530637 N:192811)
Description	<p>The site of the former Warren's Field is today a levelled grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. On the western bank there is a row of concrete steps used as a viewing area for the sports field. The earthen bank rises to a concrete path and a hedge which separates the field from the Crazy Golf. On the northern bank, to the north of the concrete path, is an Avenue of Oaks planted in 1925. In 1754 there was an avenue running diagonally across the northern half of the current sports field, a planted garden and another smaller tree lined avenue. Unfortunately any archaeological remains associated with these features would have been destroyed by the Gravel Pit in 1854.</p> <p>The photo below also shows the site of the air raid shelters (Gaz no. 59) dug to the east from a point south of Lakeside road. Plans exist for shelters which may originally have been slit trenches (but have not been studied) and some photos (not available to the assessment) suggest above ground entrances and a resident recalls using them as covered shelters.</p>
Date	1754 - 1854
Historic background	<p>Rocque's map of 1754 depicts a tree lined avenue that extends from the south end of the canal to the north-eastern corner of the park. Between the canal and the avenue is a planted garden and another smaller tree lined avenue.</p> <p>It is not certain on the 1801 inclosure plan whether the avenues and the garden were still present at this date as the map did not illustrate vegetation. However, the avenue would have been felled when the area was leased and extracted for gravel in 1854.</p> <p>Apart from a few scattered trees the 1865 map shows no sign of a garden or planted area to the north-west of the gravel pit, as depicted in Rocque's plan.</p> <p>In 1903 the house and its 54-acre park were sold to Southgate U.D.C as a public park. After a series of proposals the cricket pitches (most likely on the site of the former gravel pit) were the first to be installed. In 1913 the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west.</p>
Relationship to other assets	North-East Avenue, Building and garden in south-east corner, Gravel Pit, Brick enclosure surrounding Broomfield House, Canal, Avenue of Oaks along Alderman's Hill, Pitches of former gravel pit.

Photo



Significance of Asset

The site of Warren's Field is often overlooked when it comes to the history of the Park and there appears to have been a number of garden features and buildings on the site. These may be significant to the history of the Park but unfortunately any archaeological remains would have been destroyed by the Gravel Pit and the levelling of the playing field.

Evidential value

Low – destroyed

Historical value

Low – destroyed

Aesthetic values

Low not visible

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

This asset has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

26	Building and Garden in South-East corner of Warrens Field
Masterlist Ref.	LCA 7/9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 306 925 (E:530655N:192577)
Description	<p>The site of the former Warren's Field is today a levelled grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. In the south-east corner there is an entrance to the field and a row of trees along the rear of the gardens associated with Broomfield Avenue. In 1754 this was the site of a house and garden plot which was demolished between 1896 and 1914 when the eastern side of Warren's Field was sold for development. Due to several phases of ground levelling there are no visible remains of the garden plot. .</p>
Date	1754 - 1914
Historic background	<p>Rocque's 1754 map depicts a building enclosed by a wall of hedge and a garden in the south-east corner of Warren's Field. To the north there is what appears to be a three joined paths creating a cross shaped design. The building was situated adjacent to Broomfield Lane at the point where the road had been altered and was diverted westwards. Although the building is just outside of the current Park boundary the garden to the rear was within it.</p> <p>In 1801 the house shown in Rocque's map was still present, but it appears much smaller in scale There was also an additional building on the northern boundary of the garden.</p> <p>In 1854 the area surrounding the House and Garden was leased for gravel extraction. The pit was still in use at the time of the Ordnance Survey map of 1865 and it extended right up to the garden boundary of the house. At this time the 1801 building along the northern boundary of the garden had been demolished.</p> <p>In 1903 the house and its 54-acre park were sold to Southgate U.D.C as a public park. After a series of proposals the cricket pitches (most likely on the site of the former gravel pit) were the first to be installed. In 1913 the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west. The house previously in the south-east corner of the field had been demolished to make way for a new residential estate.</p>
Relationship to other assets	North-East Avenue, Garden and Avenue in North-West corner of Warrens Field, Gravel Pit, Pitches of former gravel pit, Small Building to the east of Gravel Pit.
Photo	No Photo
Significance of Asset	Although the house is likely to be in the garden of a house along Broomfield Avenue, the garden plot was located in the south-eastern corner of the park. This area does not seem to have been greatly

impacted by landscaping so archaeological remains may survive. The house and garden plot were early features of the estate (perhaps another lodge) and further research would benefit the overall history of the Park.

Evidential value High

Historical value High

Aesthetic values Low – not visible but potentially accessible to archaeology

**Recommended
Recording and
Management Actions**

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process. The house and garden plot were early features of the estate (perhaps another lodge) and further research would benefit the overall history of the Park.

27	Gravel Pit
Masterlist Ref.	LCA 9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 306 926 (E:530661 N:192681)
Description	<p>The site of the former Warren's Field is today a level grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. On the western bank there is a row of concrete steps used as a viewing area for the sports field. The earthen bank rises to a concrete path and a hedge which separates the field from the Crazy Golf. On the northern bank, to the north of the concrete path, is an Avenue of Oaks planted in 1925. In the north-east and south-east corners there are entrances to the field and a row of trees run between them along the rear of the gardens associated with Broomfield Avenue. The field is on the site of a former gravel pit, extracted in 1854 to 1865.</p>
Date	1854 - 1896
Historic background	<p>In 1854 the area to the east of the house (formerly known as Warren Field) was leased for gravel extraction. The extraction would have destroyed any surface features or buried remains associated with the 1754 avenue and the 1599 road. The pit was still in use at the time of the Ordnance Survey map of 1865 and it extended right up to the garden boundary of the house in the south-east corner of the Park. There was also a small building to the east of the gravel pit (now outside the park boundary).</p> <p>In 1896 the gravel pit had been infilled and divided up into two small fields and a large field. Within this field there was a small building in the north-west corner.</p> <p>In 1903 Philip Lybbe Powys sold the house and its 54-acre park to Southgate U.D.C. who proposed building a gymnasium, cricket and football pitches, lawn tennis, and bowls among other sports facilities. The cricket pitches on the site of the former gravel pit were the first to be installed. At this time the eastern side of Warren's Field was sold for development.</p> <p>In 1913: the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west.</p>
Relationship to other assets	<p>North-East Avenue, Building and garden in south-east corner, Avenue of Oaks along Alderman's Hill, Pitches of former gravel pit, Building and Garden in South-East corner of Warrens Field, North end of Broomfield Lane, Garden and Avenue between north-east Avenue and Canal, Field Boundaries in Warren's Field, Small Building in the centre of in-filled gravel pit.</p>

Photo



Significance of Asset

The gravel pit is a significant part of the history of Broomfield Park as it signifies the first major move away from formal gardens/parkland. However, the pit itself is not significant and the creation of the pit has destroyed some potentially important features of the early estate.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

28

Wall to the West of the Canal

Masterlist Ref.

LCA 5 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 305 927 (E:530540 N:192796)

Description

To the east of the Yachting Pond is an avenue of chestnuts that were planted in 1914. They border a shallow earthen dip which is the remains of a former canal that was excavated prior to 1754 and a wall that was built to enclose the canal in 1801. In the centre of the avenue is an outside gym that was installed recently. This replaced a Fairy Cycle Track that was built on the avenue in 1937. Due to an area of wasteland to the east the avenue is not very visible and is overlooked by visitors.

Date

1801 - 1865

Historic background

In 1801 the removal of the West Wall increased the area of the parkland up to the canal, which was located to the north of the house. At this time a new wall was built to the west of the canal linking the north wall of the enclosure around Broomfield House with Alderman's Hill.

Between 1801 and 1865 the wall to the west of the canal was removed, but the footpath was still in use. A row of trees formerly alongside of the wall were also still present.

By 1896 the canal had been completely enclosed by a wall and in 1914 the canal was infilled and became the Chestnut Walk.

Relationship to other assets

Also see Canal, Yachting Pond, Settling Pond, Outside Gym, Fairy Cycle Track, Pond located between Alderman's Hill and the Park boundary.

Photo



Significance of Asset

The canal is one of the key historic features of the garden and appears to have originally fulfilled a similar function as a boundary for the formal garden as the Pond/Stream on the southern boundary. The wall to the west of the canal signified the expansion of the parkland in the late 18th, early 19th century but it did not last too long so it is not overly significant.

The earthen dip between the chestnuts suggest that the buried remains associated with the canal and possibly the wall could survive, although potentially damaged by tree roots and the creation of a fairy cycle track in 1937.

Evidential value Moderate

Historical value Moderate

Aesthetic values Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

29	Building in the centre of Warrens Field
Masterlist Ref.	LCA 9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 306 927 (E:530655N:192754)
Description	<p>The site of the former Warren's Field is today a level grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. On the western bank there is a row of concrete steps used as a viewing area for the sports field. The earthen bank rises to a concrete path and a hedge which separates the field from the Crazy Golf. On the northern bank, to the north of the concrete path, is an Avenue of Oaks planted in 1925. In the north-east and south-east corners there are entrances to the field and a row of trees run between them along the rear of the gardens associated with Broomfield Avenue. The field is on the site of a former gravel pit, extracted in 1854 to 1865, which was then divided up into three fields, two small fields in the north-west corner and one large field occupying the majority of the site. Within the north-west corner of the large field there was a small outbuilding, probably a barn. Any evidence of the barn would have been destroyed when the field was levelled and converted in a playing field.</p>
Date	1896 - 1903
Historic background	<p>In 1854 the area to the east of the house (formerly known as Warren Field) was leased for gravel extraction. There was also a small building to the east of the gravel pit (now outside the park boundary).</p> <p>In 1896 the gravel pit had been infilled and divided up into two small fields and a large field. Within this large field there was a small building in the north-west corner.</p> <p>In 1903 Philip Lybbe Powys sold the house and its 54-acre park to Southgate U.D.C. who proposed building a gymnasium, cricket and football pitches, lawn tennis, and bowls among other sports facilities. The cricket pitches on the site of the former gravel pit were the first to be installed. This would have been when the building was demolished. At this time the eastern side of Warren's Field was sold for development.</p> <p>In 1913: the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west.</p>
Relationship to other assets	<p>North-East Avenue, Building and garden in south-east corner, Avenue of Oaks along Alderman's Hill, Pitches on former gravel pit, Building and Garden in South-East corner of Warrens Field, North end of Broomfield Lane, Garden and Avenue between north-east Avenue and Canal, Gravel pit, Field Boundaries in Warrens Field.</p>

Photo



Significance of Asset

The building in the centre of the former gravel pit epitomises the agricultural land use in the Park at this point. However, the building itself is not considered significant and any archaeological remains associated with it would have been destroyed when the fields were levelled and converted in playing fields.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. However, the building itself is not considered significant and any archaeological remains associated with it would have been destroyed when the fields were levelled and converted in playing fields.

30

Field Boundaries in Warrens Field

Masterlist Ref.

LCA 9 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 306 927 (E:530655N:192754)

Description

The site of the former Warren's Field is today a level grass playing field surrounded by earthen banks on its north and west side, houses on its east and Broomfield Lane to the south. In the south-west corner is a modern Children's Playing Area. On the western bank there is a row of concrete steps used as a viewing area for the sports field. The earthen bank rises to a concrete path and a hedge which separates the field from the Crazy Golf. On the northern bank, to the north of the concrete path, is an Avenue of Oaks planted in 1925. In the north-east and south-east corners there are entrances to the field and a row of trees run between them along the rear of the gardens associated with Broomfield Avenue. The field is on the site of a former gravel pit, extracted in 1854 to 1865, which was then divided up into three fields, two small fields in the north-west corner and one large field occupying the majority of the site. Within the north-west corner of the large field there was a small outbuilding, probably a barn. Any evidence of the field boundaries would have been destroyed when the field was levelled and converted in a playing field.

Date

1896 - 1904

Historic background

In 1854 the area to the east of the house (formerly known as Warren Field) was leased for gravel extraction. There was also a small building to the east of the gravel pit (now outside the park boundary).

In 1896 the gravel pit had been infilled and divided up into two small fields and a large field. Within this large field there was a small building in the north-west corner.

In 1903 Philip Lybbe Powys sold the house and its 54-acre park to Southgate U.D.C. who proposed building a gymnasium, cricket and football pitches, lawn tennis, and bowls among other sports facilities. The cricket pitches on the site of the former gravel pit were the first to be installed. This would have been when the field boundaries were removed. At this time the eastern side of Warren's Field was sold for development.

In 1913: the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west.

Relationship to other assets

North-East Avenue, Building and garden in south-east corner, Avenue of Oaks along Alderman's Hill, Pitches on former gravel pit, Building and Garden in South-East corner of Warrens Field, North end of Broomfield Lane, Garden and Avenue between north-east Avenue and Canal, Gravel pit, Small Building in the centre of in-filled gravel pit.

Photo



Significance of Asset

The field boundaries in Warren’s Field epitomises the conversion from the gravel pit to agricultural land, and the importance of agriculture over garden features at this time. The field boundaries themselves are not considered significant and any archaeological remains associated with them would have been destroyed when the fields were levelled and converted in playing fields.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process. The field boundaries themselves are not considered significant and any archaeological remains associated with them would have been destroyed when the fields were levelled and converted in playing fields.

Broomfield House Gardens

31 Brick Enclosure around Broomfield House

Masterlist Ref. LCA 4/4a Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: East Wall of Broomfield Park GLHER No: ML082750

NGR/Location TQ 305 926 (E:530518 N:192637)

Description Surrounding Broomfield House is the East Lawn, which consists of a grass lawn with a few scattered flower beds on its western side surrounded by a brick wall on its east and south side; a path, the Middle Pond and revetment wall on its west side; and a plant/shrub/tree border on its north side. On the exterior side of the east wall there is a drinking fountain marked ' Metropolitan Drinking water Fountain and Cattle Trough' but no date is visible. Around the edges of the lawn there are a number of Parkland trees, including two ancient yew trees, and several undulating earthworks which could suggest buried archaeological remains. In the centre of the eastern wall is an early 18th century Pavilion/Summerhouse which maybe in situ or it could have been moved from the West Wall. The GLHER describes the wall as follows: *Probably co-oval with the earliest house, ie mid C16. Red brick, mostly of English bond, with alternating brick cornice and high sloped coping. Plinth. Wall and plinth ramped and stepped up to high gateway with Tudor arch of chamfered brick recessed under hoodmould the whole crowned by a gable. Within the gate a pedimented shelter has been built, possibly in C18. North of gateway, against inside of wall, an C18 gazebo or garden house with dentilled and mutuled cornice open front and panelled interior.*

Date 1754 - (west wall demolished 1801; north wall 1957, south wall lowered in 1908)

Historic background Rocque's 1754 map depicts Broomfield House situated in the western corner of an enclosure that was located adjacent to a road. Apart from the building the enclosed yard is 'blank' and there is no depiction of a garden like elsewhere on the map (see Minchington Hall or the buildings on South Street). The house seems quite separate from the fishponds and the avenues.

By 1801 the northern half of the west enclosure wall had been removed, uniting it with the surrounding garden and ponds. Instead the north wall had been connected to a new curved boundary that skirted round the northern fishpond and connected to the large West Wall that had also been shortened. The curved wall was then modified by 1865 to connect with the canal rather than the north enclosure wall.

The enclosure in 1865 consisted of three walls (south, east and north) with a path running parallel to them, several large parkland trees and a pavilion/summerhouse along the eastern wall. It was most likely similar to its current appearance.

In 1908 the south enclosure wall was lowered and covered in trellis. Between 1936 and 1957 the remaining section of the north wall had

been demolished and replaced with a plant border.

An evaluation along the south wall of the enclosure in 1997 found evidence of a raised terrace walk around the interior of the walls. There may have been a sunken garden overlooked by the terrace (AOC Archaeology, 1997). A further trial pit excavation was undertaken later that year in the centre of the East Lawn. This found a hard layer of pebbles and flint in a sandy matrix butting against a brown clay. Beneath the clay, vertical faces of hard pebble and flint were found opposite each other (approximately 4.45m apart). The interpretation of this hard pebble layer is either a foundation for a brick wall or a cheap bank consolidant for a canal feature. Instead of a canal it may be more appropriate to refer to the asset as a water/pond feature.

A geophysical survey of the East Lawn in 1997 discovered a lower resistance feature 5m wide and 33m in length in the centre of the lawn. This feature may be visible on a google-earth image of 9/1999, where it shows as a dark patch on the dry lawn. Adjacent to this was a narrow higher resistance anomaly interpreted as a wall. To the south of the 'canal' a discrete low resistance anomaly was interpreted as a small pond. On the western side of the area is a complex of low and high resistance anomalies which were thought to be a parterre and flower beds. In the southern section of the site there were several rectangular higher anomalies which may be paved areas or bases or ornamental features. A circular feature in the south eastern corner was also thought to be a pond.

Relationship to other assets

Two Yew Trees, Pavilion/Summerhouse, Driveway from Broomfield Lane, Building/Greenhouse on north side of driveway, Gateway at east end of Driveway, Curved wall to north of Upper Pond, Canal.

Photo





Significance of Asset

The enclosure around Broomfield House is a main historic feature of the garden and it provides the House with an appropriate setting. The east and remaining south wall appear to be mostly original, although the Pavilion may have been moved from the West Wall. Although most of the originally walls have been removed, the lawn and surrounding trees presents the appearance of the enclosure. With the ponds and the House this enclosure is of national significance. It would be beneficial to investigate the features found in the geophysical survey and compare

them to other contemporary gardens in the area to ascertain what was present in the enclosure prior to the lawn.

Evidential value High

Historical value High

Aesthetic values High

**Recommended
Recording and
Management Actions**

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process. . It would be beneficial to investigate the features found in the geophysical survey and compare them to other contemporary gardens in the area to ascertain what was present in the enclosure prior to the lawn.

32

Summerhouse/Pavilion

Masterlist Ref.

LCA 4 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: East Wall of Broomfield Park GLHER No: ML082750

NGR/Location

TQ 305 926 (E:530529 N:192656)

Description

A white painted, wooden summerhouse or pavilion with Ionic columns set into a 16th century brick wall. It is located in the centre of the east enclosure wall surrounding Broomfield House. Today the Pavilion looks out on to the East Lawn, the Upper and Middle Lake and the Avenue, but in 1865 it was hidden behind parkland trees.

Date

Early 18th century? - 2015

Historic background

According to Pevsner this is early 18th century with wooden Ionic columns (Pevsner, 1998). The GLHER describes the Pavilion as follows: *North of gateway, against inside of wall, an C18 gazebo or garden house with dentilled and mutuled cornice open front and panelled interior.*

The Pavilion is first shown in the 1865 Ordnance Survey Map in the eastern wall of the enclosure surrounding Broomfield House. It was situated behind some trees which prevented any direct sightlines from the pavilion to the parkland.

The enclosure was first shown in Rocque's map of 1754, but there was no indication of a Summerhouse structure in this location. It may not have been considered significant enough to include it on the map, but Rocque did include other garden features such as the canal and the ponds. He also included a small structure on the northern end of the West Wall, which was removed between 1754 and 1801. This could have been the original location of the Summerhouse, overlooking the northern end of the Upper Pond.

Relationship to other assets

Two Yew Trees, Brick Enclosure around Broomfield House, Driveway from Broomfield Lane, Gateway at east end of Driveway, Curved wall to north of Upper Pond.

Photo



Significance of Asset

Aside from the brick wall, the Pavilion is the most valuable asset in the East Lawn as it reminds visitors of a grand garden and estate. It is likely that the Pavilion was moved from the West Wall in the late 18th and early 19th century.

Evidential value

High

Historical value

High

Aesthetic values

High

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

33

Driveway to Broomfield House

Masterlist Ref.

LCA 6 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: West Walls and North Wall to Broomfield Park GLHER No: ML0819426, Listed Building: East Wall of Broomfield Park GLHER No: ML082750, Listed Building: South Walls of Broomfield Park and Inner Garden Walls GLHER No: ML082751

NGR/Location

TQ 304 926 (E:530468 N:192609)

Description

The Driveway from Broomfield Lane to Broomfield House is a tarmac wide pathway lined with plant borders at its east end and lawn and scaffolding at its west end. At its eastern end is a 16th century gateway that was modified in the 18th century. At its western end the Driveway opens up on to the Middle and Lower Pond. Broomfield House is located adjacent to the Driveway on its north-western side.

Date

1754 - 2015

Historic background

Rocque's 1754 map depicts Broomfield House situated in the western corner of an enclosure located adjacent to a road or driveway. The road seems to be a continuation of the newly aligned Broomfield Lane, which has been altered from its original route in 1599 to only extend round the southern boundary of the estate and not continue northwards along the later east lawn. The lane does however extend to the north-east past Broomfield House and terminates at the ponds; but there is no suggestion of a gate or boundary separating the road from the ponds. However, as the current archway in this location is thought to be 16th century in origin with 18th century piers and wooden pediment it is likely that it was in situ at this time (Pevsner, 1998).

By 1801 Broomfield Lane had been diverted southwards so it did not continue past the house and was separated from the drive by a modified gateway. These additions would have enhanced the gateway and may explain why the drive is depicted as separate to Broomfield Lane in the inclosure plan but not in Rocque's map.

Between 1801 and 1865 a small building and a greenhouse had been built on the southern wall of the enclosure surrounding Broomfield House adjacent to the road entrance. This appears to have been closed off or separate from the driveway, which had been divided and narrowed by a boundary and two borders of trees.

By 1896 the drive had been widened again and the greenhouse, which was situated on the north wall, has been extended, replacing the building that was formerly adjacent to it. The borders in the centre of the driveway had also been removed.

By 1908 the old greenhouses along the south side of the wall to the east lawn (north side of the driveway) were removed and the wall was lowered and covered with trellis. The tablet announcing the status of the park was installed near the entrance at this time.

A plan from 1926 shows three trees along the southern side of the driveway and a plant border along the north side.

In 1958 the building on the south side of the drive (Garden House), first shown on the site in 1754, was demolished in favour of new lavatories.

An excavation in 1997 uncovered planting beds and greenhouse as recorded in the 1865 OS map. It also found a compact deposit of laid brick and mortar rubble which was interpreted as the foundation of a 17th or 18th century building. This appears to be the early remains of the Garden House (AOC, 1997).

Relationship to other assets

Brick Enclosure around Broomfield House, Building and greenhouse on north side of driveway, Central Driveway Plant Borders, Brick Enclosure for Garden House, Garden House, Gateway at the east end of the driveway, Park Tablet

Photo



Significance of Asset

The driveway has been the main route to Broomfield House since 1599 and is therefore a main historic feature of the estate. In the 19th century it was divided to provide room for a building and greenhouse. It is likely to contain a number of structural foundations as well as several road surfaces and artefacts so it has significance above ground and potential significance for buried features.

Evidential value

High

Historical value

High

Aesthetic values

High

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process. and potential significance for buried features.

34

Building and Greenhouse on North side of Drive

Masterlist Ref.

LCA 6 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 926 (E:530490 N:192609)

Description

In 1865 on the northern side of the Driveway there was a small building and a larger building, later shown as a greenhouse. The building appeared to be separated from the remaining area of the driveway by several plant borders placed in the centre of the drive. The site of these buildings today is occupied by a plant border and a gateway between the drive and the Broomfield House Enclosure.

Date

1865 (extended 1896) - 1908

Historic background

The 1865 OS map depicted a small building and a greenhouse against the southern wall of the 1754 Broomfield House Enclosure, adjacent to the road entrance. This appears to have been closed off from the driveway, which had been divided and narrowed by a boundary and two borders of trees.

By 1896 the borders in the centre of the drive had been removed and the greenhouse which was situated on the north wall has been extended, replacing the building that was formerly adjacent to it.

It was recorded in the Minutes of the Public Park that the old greenhouses along the south side of the wall to the east lawn (north side of the driveway) were removed in 1908 and the wall was lowered and covered with trellis.

Relationship to other assets

Brick Enclosure around Broomfield House, Central Driveway Plant Borders, Driveway to Broomfield House, Gateway at the east end of the driveway

Photo



Significance of Asset

The archaeological excavation in 1997 revealed that the foundations for these buildings survive in good condition below the ground surface. The excavation did not reveal a great deal about the buildings due to the limited size of the trenches. Further research would help inform the 19th century history of the estate, especially the developments in the south-east corner which included the Stable Block and an expansion of greenhouses. It is likely that the development of greenhouses and yards at this time was associated with the rent of the estate to tenants by the Lybbe Powys. It would be interesting to see if there is any information about these tenants and when in the 19th century were they inhabiting the estate in the census records.

Evidential value

High

Historical value

Moderate

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

35

Central Driveway Plant Borders

Masterlist Ref.

LCA 6 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 926 (E:530457 N:192619)

Description

Between 1865 and 1896 there were several plant borders located in the centre of the Driveway from Broomfield Lane to Broomfield House. These seemed to divide the drive to create a separate enclosure for a building and greenhouse. The borders were removed and the driveway is now an open tarmacked pathway.

Date

1865 - 1896

Historic background

The 1865 OS map depicted a boundary and two borders of trees in the centre of the Driveway. The borders seemed to divide the Driveway, creating a yard for a building located adjacent to the southern wall of the 1754 Broomfield House Enclosure.

By 1896 the central borders had been removed and the Driveway was widened.

Relationship to other assets

Brick Enclosure around Broomfield House, Driveway to Broomfield House, Building and greenhouse on north side of driveway, Gateway at the east end of the driveway

Photo



Significance of Asset

The reason why the plant borders were placed in the centre of the driveway is unclear. They were not extant for long and are therefore considered not of significant historical significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

36

Brick Enclosure for Garden House

Masterlist Ref.

LCA 3/11/12 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: East Wall of Broomfield Park GLHER No: ML082750

NGR/Location

TQ 304 926 (E:530420 N:192616)

Description

The Enclosure surrounding Garden House originally occupied the majority of the south-eastern corner of the Park, including the Stable Block yard, the Garden of Remembrance, and the Sun Dial Garden. Today it is filled with a variety of outbuildings and internal walls. The West wall extended southwards on the same north-south alignment as the front of Broomfield House. Today the foundations of the wall may survive below the grass to the south of the lavatories. The North wall is still extant, although partially replaced adjacent to the Driveway, as is the East wall. The southern boundary may have originally been a Pond/Stream, which was later replaced by a wall that was removed during the construction works of the Garden of Remembrance.

Date

1754 - (west wall demolished possibly by 1801 but certainly by 1865, north wall modified between 1865 -1896, southern side may have originally been the pond/stream shown in 1754.)

Historic background

Rocque's 1754 map depicted a building of a similar size to Broomfield House on the south side of the Driveway. Surrounding the building was an enclosure. On the south side there does not appear to be a wall but instead there is the Pond/Stream. The Parklands Consortium have interpreted this as an earlier stable block, although this is speculation based on its later use.

In the 1801 Inclosure Map the building on the site of the current toilet block was now outside of the enclosed area, either because the building had been extended or the western wall of the enclosure had been moved eastwards. There was also a wall depicted along the southern boundary. Between 1754 and 1801 the yard had also divided into four separate areas – two of which contained new buildings.

By 1865 the western wall of the enclosure had been demolished, but the two internal boundaries built between 1754 and 1801 were still present to the east.

The GLHER description for the walls is as follows: *East wall of Broomfield Park including attached Garden House... Probably co-oval with the earliest house, i.e. mid C16. Red brick, mostly of English bond, with alternating brick cornice and high sloped coping. Plinth.*

In this description the east wall could refer to the enclosure around the building (possibly the Garden House mentioned here, although the Garden House in this instance may refer to the Pavilion) on the south side of the drive, as well as the east wall of the lawn.

The south wall of the Enclosure was removed and replaced with the

Brick and Tile Boundary Wall in 1924.

Relationship to other assets

Garden House, Driveway to Broomfield House, Building on East wall of original Garden House Yard (1801 & 1896), Pond/Stream on Parkland Southern Boundary, Building in the centre of original Garden House Yard Wall, Three internal boundaries in original Garden House Yard, Stable Block, Greenhouse to north of stable block, Wall to south of 1801 Yard, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Outbuildings to south of Garden House (1914), Park Keepers Cottages, Outbuilding on north wall of stable block, Building on East wall of original Garden House Yard (1936), Lavatories to south of drive, Garden of Remembrance, Brick and Tile Boundary Wall on Powis Lane, Sun Dial Garden, Old English Garden.

Photo



Significance of Asset

The enclosure surrounding the Garden House on the south side of the driveway appears to be contemporary with the enclosure surrounding Broomfield House and is therefore of local if not regional historical significance. It survives above the ground surface on the eastern and northern side, and the western wall (which is now beneath the grass area to the east of the Lower Pond) may survive below the ground surface. Its southern end may have originally been defined by the Pond/Stream shown in Rocque's 1754 map, which is of interest concerning the main water features that were present in the garden. The yard seems to have been the main focus of the estate in the 19th century, moving away from the formal gardens and parkland. This may

have been associated with the let of the estate to tenants. From this date to the present day the yard has been continually divided and greenhouses have been built and replaced. The enclosure is arguably of greater importance since the demolition of the Garden House in 1958 as it is the only remaining 18th century feature on this side of the driveway.

Evidential value Moderate o high

Historical value High

Aesthetic values High

**Recommended
Recording and
Management Actions**

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

37

Garden House

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: East Wall of Broomfield Park GLHER No: ML082750

NGR/Location

TQ 304 926 (E:530431 N:192626)

Description

The naming of this asset follows the Parkland Consortium report. The Garden House was one of the first buildings in the estate, and may have been contemporary with Broomfield House. It was a long thin building that was located opposite Broomfield House on the south side of the Driveway, within its own large brick enclosure. Following its demolition a block of lavatories was built on the site in the 1950s.

Date

1754 - 1958

Historic background

Rocque's map of 1754 depicted a building of a similar size to Broomfield House on the south side of the Driveway. Surrounding the building was an enclosure. The Parklands Consortium have interpreted this as an earlier stable block, although this is speculation based on its later use.

By 1801, the building on the site of the current toilet block was now outside of the enclosed area, either because the building had been extended or the western wall of the enclosure had been moved eastwards.

In 1865 the long thin building (Garden House) was shown as five conjoined structures, three of which appear to be new additions.

The GLHER description for the walls, stable block and associated outbuildings is as follows:

East wall of Broomfield Park including attached Garden House... Probably co-oval with the earliest house, i.e. mid C16. Red brick, mostly of English bond, with alternating brick cornice and high sloped coping.

In this description the east wall could refer to the enclosure around the building (possibly the Garden House mentioned here, although Garden House in this description may refer to the Pavilion) on the south side of the drive, as well as the east wall of the lawn.

By 1914, two structures had been built on the south side of the Garden House. These were demolished along with the House in 1958 in favour of new lavatories.

Relationship to other assets

Brick Enclosure for Garden House, Driveway to Broomfield House, Building on East wall of original Garden House Yard (1801 & 1896), Building in the centre of original Garden House Yard, Three internal boundaries in original Garden House Yard, Stable Block, Greenhouse to north of stable block, Wall to south of 1801 Yard, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Outbuildings to south of Garden House (1914), Outbuilding on

north wall of stable block, Lavatories to south of drive.

Photo



Significance of Asset

The garden house was first shown in 1754 but its origins are unknown. It is likely to be contemporary with the enclosure surrounding it, which has been interpreted as 16-18th century. This would make it of local if not regional significance. Unfortunately the building was demolished in 1958 and very little has been documented or survives. Due to the construction of the lavatories on the site archaeological remains associated with the building are unlikely to survive.

Evidential value

Low (little survival)

Historical value

Moderate

Aesthetic values

Low – not visible

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process although survival is expected to be very poor.

38 Gateway at East end of drive

Masterlist Ref. LCA 6 Drawing Ref:
Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: East Wall of Broomfield Park GLHER No: ML082750

NGR/Location TQ 304 925 (E:530496 N:192596)

Description Located at the eastern end of the Driveway separating the estate from Broomfield Lane is a large 16th century brick archway with 18th century piers with wooden pediment painted white on its western side. The Gateway is the oldest and most grand entrance into the Park. On either side of the archway there are small doors into the Park.

Date 16th C - 2015 (alterations in 18th C)

Historic background In 1801 Broomfield Lane had been diverted southwards so it did not continue past the house and was separated from the drive by a modified gateway. According to Pevsner the Gateway is 16th century in date but with 18th century additions. The exclusion of the gate and the continuation of the road in Rocque's map and the 1599 map may suggest that the gate was not very substantial. The inclusion of the gate in the 1801 inclosure map may be due to the 18th century additions.

The GLHER description for the walls, stable block and associated outbuildings is as follows: *East wall of Broomfield Park including attached Garden House... Probably co-oval with the earliest house, i.e. mid C16. Red brick, mostly of English bond, with alternating brick cornice and high sloped coping. Plinth. Wall and plinth ramped and stepped up to high gateway with Tudor arch of chamfered brick recessed under hoodmould the whole crowned by a gable. Within the gate a pedimented shelter has been built, possibly in C18.*

Relationship to other assets Driveway to Broomfield House, Brick Enclosure around Broomfield House, Building and greenhouse on north side of driveway, Central Driveway Plant Borders, Brick Enclosure for Garden House, Park Tablet

Photo



Significance of Asset Like the two brick enclosures and the drive, the gateway is one of the main historic features surviving of the early estate and is therefore of regional significance. It highlights that this was an original and impressive entrance to the house. It was modified in the 18th century which may have been associated with the realignment of Broomfield Lane.

Evidential value High

Historical value High

Aesthetic values High

Recommended Recording and Management Actions

This asset is one of the suite that comprised the early 17-18th century 'Baroque' Garden, and is this considered one of the most important assets. Conservation of existing elements, or restoration where this is feasible, or depiction where restoration is not possible is considered appropriate. Where restoration is made, the features should be appropriately recorded archaeologically during the process.

Archaeological investigation may be useful as the upper course appears to be banked with the standard wasters used in many garden walls in the locality in the period 1900-1905, but the lower courses appear in a different bond.

39 Potential Storage Vaults and Revetment Wall

Masterlist Ref. LCA 2 Drawing Ref:
Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 304 926 (E:530435 N:192664)

Description Between Broomfield House and the Middle Pond is a slag low rising retaining wall with a hedge planted on top. The wall is only two blocks high above the ground surface. In a painting from 1800 there is a suggestion of a wall in front of Broomfield House with vaults or decorative windows situated below the current ground level. This may have been a revetment wall or the eastern wall of the Middle Pond.

Date 1800

Historic background A watercolour of the west front of the house c.1800 provides a glimpse of the area immediately in front of the building. There were two large walls situated below the ground level extending from the west towards a revetment wall that contained four apparent doors or windows that mirrored those on the ground floor of the house. These have been interpreted as storage vaults (Parklands Consortium, 1997), but the depth and location of the walls would suggest that the artist was standing in the pond. The large western walls do not appear to meet up with the revetment wall either.

Relationship to other assets Brick Enclosure around Broomfield House, Three Fishponds

Photo



Significance of Asset Apart from a watercolour in 1800, there is no information concerning a revetment wall or potential storage vaults. The watercolour is unclear as its location is ambiguous. Therefore the significance and survival of this asset is unknown.

Evidential value Moderate

Historical value Moderate

Aesthetic values Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

40

Building on East wall of original Garden House Yard

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530478 N:192577)

Description

Situated at the north end of the eastern wall of the brick enclosure surrounding the Garden House were several buildings that were continually replaced in the 19th and 20th century. Today the site is occupied by a series of connected modern garages. The first building was a long building occupying the entire length of the current Stable Block yard.

Date

1801 - 1865

Historic background

By 1801 the Garden House Enclosure had been divided into four yards. In the north-eastern yard there was a large building spanning the length of the current stable block yard. The building had been demolished by 1865.

Relationship to other assets

Building on East wall of original Garden House Yard (1896, 1936), Brick Enclosure for Garden House, Stable Block

Photo



Significance of Asset

This building is one of only three buildings shown in the 1801 inclosure map within the Garden House Yard. It is interesting that these buildings are shaded whereas the main house is unshaded suggesting that it was uninhabited. The building along the eastern wall of the yard is depicted of considerable size and may have been an earlier stable block. The building was most likely demolished to make way for the new stable block between 1801 and 1865. If it was still extant, this structure would have been of local significance concerning the 19th century history of the estate, but the site has since been built upon at least twice and it is unlikely that any archaeological remains associated with this building survive.

Evidential value	Low
Historical value	Low
Aesthetic values	Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process, noting that it is unlikely that any archaeological remains associated with this building survive.

41	Building on East wall of original Garden House Yard
Masterlist Ref.	LCA 11 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530478 N:192577)
Description	Situated at the north end of the eastern wall of the brick enclosure surrounding the Garden House were several buildings that were continually replaced in the 19 th and 20 th century. Today the site is occupied by a series of connected modern garages. The second building on this site, a greenhouse, was not quite as long as the length of the yard, and it was thinner than the building in 1801.
Date	1896
Historic background	Following the demolition of a building situated at the north end of the eastern wall of the brick enclosure, a smaller building had been rebuilt on the site between 1883 and 1896. Again the building had been demolished by the 1914 OS map.
Relationship to other assets	Building on East wall of original Garden House Yard (1801, 1936), Brick Enclosure for Garden House, Stable Block
Photo	
Significance of Asset	This building replaced an earlier 18 th century building following the construction of the Stable block between 1801 and 1865. It is one of several outbuildings built in the Garden House Yard in the late 19 th and 20 th century. As an individual asset this building has no historical significance; however, as a group the greenhouses and outbuildings have a local significance concerning the development of the 19 th century tenant estate and the move away from the formal garden and parkland.
Evidential value	Low
Historical value	Low

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

42

Building in the centre of original Garden House Yard

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530435 N:192581)

Description

In 1801 there was a building located along the south wall of the current Stable Block yard orientated east west. The building was in its own yard enclosure and its depiction on the inclosure map suggests that it was an occupied building rather than a greenhouse or outbuilding. The building is now on the site of the Stable Block and it may have been incorporated into the structure.

Date

1801 - 1865

Historic background

By 1801 the Garden House Enclosure had been divided into four yards; three in the northern half and one in the southern half. In the northern centre yard there was a building aligned east-west. It had been demolished by the 1865 OS map.

Relationship to other assets

Garden House, Brick Enclosure for Garden House, Three internal boundaries in original Garden House Yard, Stable Block, Greenhouse to north of stable block, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Outbuildings to south of Garden House (1914), Park Keepers Cottages, Outbuilding on north wall of stable block

Photo



Significance of Asset

This building is one of only three buildings shown in the 1801 inclosure map within the Garden House Yard. It is interesting that these buildings are shaded whereas the main house is un-shaded suggesting that it was uninhabited. The building is situated within its own small yard, formed by two new internal yard walls in the centre of the Garden House Enclosure. The building did not last long and its purpose (residence, outbuilding) is unknown. The building was most likely demolished to make way for the new stable block between 1801 and 1865. If it was

still extant, this structure would have been of local significance concerning the 19th century history of the estate, but the site has since been built upon and it is unlikely that any archaeological remains associated with this building survive.

Evidential value Low

Historical value Low

Aesthetic values Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

43	Three internal boundaries in original Garden House Yard
Masterlist Ref.	LCA 3/11 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530458 N:192583) TQ 304 925 (E:530438 N:192594)
Description	<p>In 1801 the northern half of the Garden House Enclosure had been separated by a wall from the area now occupied by the Garden of Remembrance and divided into three sections by two internal walls. The two walls were later used in the construction of outbuildings that were then demolished to create an open yard space for the Stable Block. The southern wall was incorporated into the current Stable Block building and the remaining wall was demolished when the Park Keepers Cottages were built.</p>
Date	1801 (south wall incorporated into stable block 1865) - 1970
Historic background	<p>By 1801 the Garden House Enclosure had been divided into four yards; three in the northern half and one in the southern half. All three yards in the northern half contained a building.</p> <p>Between 1801 and 1865 the western wall of the 1754 Garden House enclosure had been demolished, but the two boundaries built between 1754 and 1801 were still present to the east, although the buildings they were constructed for have been demolished and only two glasshouses remained. The southern wall had been partially demolished and the remaining wall had been incorporated into the façade of the Stable Block.</p> <p>By 1896 the western north south aligned yard wall had been demolished to create larger yard enclosures. An excavation in 1997 placed a trench over the location of this internal wall and found the foundations of a wall and part of its collapse westwards. The wall acted as a retaining wall as the levels between the two yards were different. The eastern wall remained until the construction of the Park Cottages in 1960.</p>
Relationship to other assets	<p>Garden House, Brick Enclosure for Garden House, Building in the centre of original Garden House Yard, Building on East wall of original Garden House Yard (1801 & 1896), Stable Block, Wall to south of 1801 Yard, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Outbuildings to south of Garden House (1914), Park Keepers Cottages.</p>

Photo



Significance of Asset

These boundaries were built to create three yards for three buildings (one of which was the Garden House). The purpose of this structures is unknown but it may have been linked to the 19th century tenants. These boundary walls were the first of many walls built within the Garden House Yard and sections of these walls have been incorporated into later structures – most significantly the Stable Block. Although these boundaries have no great historical significance as a group the greenhouse, yards and outbuildings have a local significance concerning the development of the 19th century tenant estate and the move away from the formal garden and parkland.

Evidential value

Low to moderate

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

44

Stable Block

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496. Listed Building: East Wall of Broomfield Park GLHER No: ML082750

NGR/Location

TQ 304 925 (E:530461 N:192567)

Description

The Stable Block is a large brick building, two storeys in height that incorporates an earlier wall and building into its façade to suggest that it is early 18th century in date. The current building was first shown in the 1865 Ordnance Survey Map and not the 1801 inclosure plan which confirms that it is a 19th century building. It contains a number of windows and doors from different dates and it is in a poor condition. The erection, demolition and re-erection of a multitude of outbuildings and greenhouses in the yard have severally impacted the setting of the Stable Block.

Date

1865 - 2015

Historic background

Between 1801 and 1865 a series of yards and buildings were constructed to the south of the Garden House 1801 Yards. Incorporating the south wall of the Yards was a large inhabited building, now the Stable Block. This Stable Block (GLHER No: ML082750; NGR: TQ 304 925) is often described as of 18th century origin but as it did not appear on the 1801 enclosure plan, it is most likely 19th century. The GLHER description for the stable block is as follows: *Stable block of 2 storeys attached, of brick, early C18, altered*

In 1934 the Minutes of the Park recorded that the last pony in the stables retired. Between 1936 and 1958 a structure was built against the north wall of the Stable Block.

Relationship to other assets

Garden House, Brick Enclosure for Garden House, Building on East wall of original Garden House Yard (1801 & 1896), Building in the centre of original Garden House Yard, Three internal boundaries in original Garden House Yard, Greenhouse to north of stable block, Wall to south of 1801 Yard, Park Keepers Cottages, Outbuilding on north wall of stable block, Building on East wall of original Garden House Yard (1936), Garden of Remembrance

Photo



Significance of Asset

The front and eastern wall of the Stable Block has reused earlier walls which makes the building seem earlier than it actually is. However, this has preserved these earlier walls and the several phases shown in the Stable Block are a good representation of the yard as a whole. As one of the only surviving yard structures from the 18th and 19th century in this area, the Stable Block is of local significance as it depicts the development of the 19th century tenant estate and the move away from the formal garden and parkland.

Evidential value

Moderate

Historical value

Moderate

Aesthetic values

High

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

45

Greenhouse to north of Stable Block

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530458 N:192599)

Description

Situated to the west of the current entrance into the Stable Block Yard there was a building (most likely an outbuilding) orientated north-south. The building was located adjacent to an internal enclosure wall in a yard that occupied the eastern part of the Stable Block yard. It was shortened between 1883 and 1896 to enable the construction of a greenhouse to the east of the Garden House. It was replaced by another building in the mid to late 20th century, which has since been removed to leave an open yard area.

Date

1865 - 1957 (adapted in 1896)

Historic background

Between 1801 and 1865 a greenhouse was built to the north of the Stable Block, to the west of the current entrance in the yard. By 1896 the greenhouse had been shortened to enable the construction of a greenhouse to the east of the Garden House. It was demolished between 1936 and 1957.

Relationship to other assets

Brick Enclosure for Garden House, Building on East wall of original Garden House Yard (1801 & 1896), Building in the centre of original Garden House Yard Wall, Three internal boundaries in original Garden House Yard, Outbuilding on north wall of stable block, Building on East wall of original Garden House Yard (1936), Garden of Remembrance, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Outbuildings to south of Garden House (1914)

Photo



Significance of Asset

The greenhouse to the north of the stable block was one of several outbuildings built in the Garden House Yard in the late 19th and 20th century. As an individual asset this building has no historical significance; however, as a group the greenhouses and outbuildings

have a local significance concerning the development of the 19th century tenant estate and the move away from the formal garden and parkland. Traces of the building can be seen within the north wall of the Enclosure.

Evidential value Moderate

Historical value Moderate

Aesthetic values High

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

46

Buildings to south of Stable Block

Masterlist Ref.

LCA 11/12 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530452 N:192542)

Description

On the site of the current Garden of Remembrance there were a number of buildings and yards constructed in the early to mid-19th century in the south-east corner of the former Garden House Enclosure. There seems to have been at least 11 conjoined buildings in a series of small yards that may have been separated from the rest of the estate with a private entrance on to Broomfield Lane. Today the site has been substantially landscaped to create the Garden of Remembrance.

Date

1865 - 1929

Historic background

By the 1865 Ordnance Survey Map at least 11 conjoined buildings in a series of small yards had been built to the south of the Stable Block. They had mostly been amalgamated and enlarged by the 1896 OS map, although a building to the west of the Stable Block had been demolished.

By 1908 several outbuildings had been demolished in the corner of the site, leaving one building and a yard. These became a Rifle Range until they were demolished in 1929 in favour of the Garden of Remembrance.

Relationship to other assets

Brick Enclosure for Garden House, Wall to south of 1801 Yard, Garden of Remembrance, Rifle Club

Photo



Significance of Asset

Between 1801 and 1865 the southern area of the Garden House Yard was divided up and approximately 11 conjoined structures were built. It is assumed that these were outbuildings, but very little is known about this area at this date. However, they appear to have been separate to

the buildings and yards in the northern half of the Garden House Enclosure and they may have fronted directly on to Broomfield Lane. As the purpose and origins of the buildings are unknown, the significance of the buildings are also unknown. However, it is likely that they were outbuildings associated with the 19th century tenants and therefore as a group they are of local significance. Due to subsequent development in this area, archaeological remains associated with these buildings are unlikely to survive.

Evidential value Moderate

Historical value Moderate

Aesthetic values High

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process, although archaeological remains associated with these buildings are unlikely to survive

Wall to south of 1801 Yard

Masterlist Ref.	LCA 3/11 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530403 N:192575)
Description	Between 1801 and 1865 a wall was built to the south of the new yard (established in the northern half of the former Garden House Enclosure), further to the east than the previous western wall of the Garden House Enclosure. This separated a series of buildings and yards (today the Garden of Remembrance) from the formal gardens and ponds to the west. The wall still stands today, although modified and rebuilt in places.
Date	1865 - 2015
Historic background	Between 1801 and 1865 the western wall of the Garden House Enclosure had been demolished. Instead a new wall had been built to the east of the previous wall to separate the series of yards and buildings from the formal gardens to the west. The wall was incorporated in the 1929 Garden of Remembrance.
Relationship to other assets	Brick Enclosure for Garden House, Garden of Remembrance, Rifle Club, Buildings to south of stable block, Sun Dial Garden, Old English Garden
Photo	



Significance of Asset	This wall was associated with the 19th century buildings constructed in the southern half of the Garden House Enclosure. It was most likely constructed after the original western wall of the Enclosure was demolished. It partially survives as the western wall of the Remembrance Garden. Like the Stable Block this wall is one of the only surviving features of the 19 th century development in this area and therefore it is of local significance.
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Evidential value	Moderate
Historical value	Low
Aesthetic values	Moderate

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process, although archaeological remains associated with these buildings are unlikely to survive

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process, although archaeological remains associated with these buildings are unlikely to survive

49

Greenhouses to South of Garden House

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 926 (E:530432 N:192606)

Description

To the south of the former Garden House, now the lavatory block, were a series of greenhouses constructed in the late 19th century. The greenhouses seem to have been substantially modified and altered throughout the 20th century and were completed demolished in the late 20th century. Today the yard is an open grass area.

Date

1896 - 1991?

Historic background

Between 1883 and 1896 a large greenhouse had been built to the north-west of the Stable Block and the south of the Garden House. Four further greenhouses were built in this area by 1914, and another four by 1936. They were demolished after 1991 to create a large open yard.

Relationship to other assets

Garden House, Brick Enclosure for Garden House, Three internal boundaries in original Garden House Yard, Extension to Garden House on south side of driveway, Greenhouse to north of stable block, Outbuildings to south of Garden House (1914), Lavatories to south of drive

Photo



Significance of Asset

The greenhouse built between 1883 and 1896 is one of several outbuildings built in the Garden House Yard in the late 19th and 20th century. As an individual asset this building has no historical significance; however, as a group the greenhouses and outbuildings have a local significance concerning the development of the 19th century tenant estate and the move away from the formal garden and parkland. The greenhouse was demolished between 1991 and 2015.

Evidential value

Low

Historical value Low

Aesthetic values Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

50	Wooden buildings used for poultry and then changing facilities to South-West of Garden House
Masterlist Ref.	LCA 3 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 926 (E:530417 N:192613)
Description	In 1911 there was a reference in the Park Minutes to some Wooden buildings used for poultry and then changing facilities in the vicinity of the Lower Pond. Although the location of these buildings are not identified, the 1914 OS map shows a building to the south-west of Garden House (which at that time was the Urinal). Today the site is a grass lawn to the south-west of the lavatories.
Date	1911 - 1914
Historic background	In 1911 some old wooden buildings formerly used for poultry keeping on the south-eastern side of the lake were used as changing rooms (Minutes of Parks and Open Spaces Committee, 10 th April 1911). Although the location of these buildings are not identified, the 1914 OS map shows a building to the south-west of Garden House (which at that time was the Urinal). This building was demolished by the 1936 OS map.
Relationship to other assets	Garden House, Three Fishponds, Brick Enclosure for Garden House, Lavatories to south of drive
Photo	
Significance of Asset	Very little is known about the Wooden Buildings, but as the site has not been redeveloped archaeological remains may survive below the ground surface. Due to their temporary nature the buildings are not thought to be of historical significance.

Evidential value	Low
Historical value	Low
Aesthetic values	Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

51

Outbuildings to south of Garden House

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530439 N:192597)

Description

To the south of the former Garden House, now the lavatory block, were two structures (one small and one long) marked on the 1914 OS map as Urinal. The buildings were most likely service buildings that were destroyed with the Garden House. Today there is a new service/outbuilding on the site in the north-west corner of the Stable Block yard.

Date

1914 - 1936

Historic background

Between 1896 and 1914 two small buildings had been built on the southern side of the Garden House. These were demolished along with the house in 1958:

Relationship to other assets

Garden House, Brick Enclosure for Garden House, Three internal boundaries in original Garden House Yard, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Lavatories to south of drive

Photo



Significance of Asset

Between 1896 and 1914 several attached outbuildings (most likely greenhouses) were built to the south of Garden House. They occupied most of the yard area which highlights that this area was no longer a stabling yard. As individual assets these buildings have no historical significance; however, as a group the greenhouses and outbuildings have a local significance concerning the development of the 20th century public park and the move away from the 19th century tenant estate. The greenhouse was demolished between 1991 and 2015.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

52

Rifle Club

Masterlist Ref.

LCA 11/12 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530458 N:192551)

Description

Prior to the current Garden of Remembrance there were a number of early to mid-19th century buildings and yards in the south-east corner of the former Garden House Enclosure that were used in the early 20th century as a rifle range. Today the site has been substantially landscaped to create the Garden of Remembrance.

Date

1914-1929

Historic background

In 1865 there were at least 11 conjoined buildings and a series of small yards to the south of the Stable Block. They had mostly been amalgamated and enlarged by the 1896 OS map and in 1914 they became a Rifle Club and Range. The buildings were demolished in 1929 in favour of the Garden of Remembrance.

Relationship to other assets

Brick Enclosure for Garden House, Wall to south of 1801 Yard, Garden of Remembrance, Buildings to south of stable block

Photo



Significance of Asset

Very little is recorded of the Rifle Club, but its existence is an interesting part of the Park's WW1 history. Unfortunately the Rifle Club, which reused the 19th century outbuildings in the south-east corner of the Park, was demolished in favour of the Remembrance Garden. Due to subsequent development in this area, archaeological remains associated with these buildings are unlikely to survive.

Evidential value

Low

Historical value

Moderate

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

53	Curved Wall to north of Upper Pond
Masterlist Ref.	LCA 1/10 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 927 (E:530467 N:192772)
Description	To the north of the Upper Pond a curved wall was built following the demolition of the northern end of the West Wall to separate the Parkland from the Ponds. The wall appeared ornamental in design and connected the West Wall to the north wall of the Broomfield House Enclosure. Despite the landscaping associated with the Yachting Lake, there is a curved slope surrounding the northern end of the Upper Pond that is likely to be the alignment of the former wall.
Date	1801 (altered at south end in c.1865) - 1957
Historic background	<p>In 1801 the north-western corner of the Broomfield House Enclosure had been removed, uniting it with the surrounding garden and ponds. Adjoined to the northern wall at its western end was a new curved boundary that skirted round the northern fishpond and connected to the large tree lined wall (West Wall) to the west of the ponds that had been shortened. As this boundary connected to two surviving brick walls it has been assumed it is a wall but it may have been a fence.</p> <p>By 1865 the northern pond had been curved at its north end to reflect the boundary surrounding it. This boundary also seems to have been straightened at its east end to connect with the base of the canal rather than the wall of the Enclosure.</p> <p>By 1908, just before the construction of the Yachting Pond, the eastern end of the curved wall had been re-aligned so it no longer joined the canal and a straight wall aligned north-west to south-east was built just to the north. The wall may have even been removed at this point but there appears to be a boundary on the north side of the footpath, which ran parallel to the wall.</p> <p>Between 1936 and 1957 the wall was removed and only the path remained.</p>
Relationship to other assets	Three Fishponds, Settling Pond, Wall to the north and west of settling pond, West Wall, West Wall (North End) and Structure, Yachting Lake, Three additional fishponds/parterres, Sump and lavatories on the site of the Settling Pond.

Photo



Significance of Asset

The construction of the curved wall to the north of the Upper Pond was likely to have occurred when the northern section of the West Wall was demolished. This enabled the parkland to extend up to the Canal. Although it was probably built to keep stock out of the fishponds, it would still have been a decorative garden feature. Traces of the wall may survive beneath the ground surface, which would help research the late 18th century development of the estate. Depending on its survival this could be of local significance.

Evidential value

Low to moderate

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

54

Wall to North and West of Settling Pond

Masterlist Ref.

LCA 10 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 927 (E:530443 N:192795)

Description

Following the construction of the Settling Pond a new wall was built to separate the Yachting Lake from the Upper Pond. This wall has since been removed and there is a grass slope and a path located between the two ponds.

Date

1914 - 1957

Historic background

Constructed with the settling tank in 1908, a straight north-south wall was built to replace the Curved Wall to the north of the Upper Pond. The wall was removed between 1936 and 1957.

Relationship to other assets

Three Fishponds, Settling Pond, Curved Wall to north of Upper Pond, West Wall, West Wall (North End) and Structure, Yachting Lake, Three additional fishponds/parterres, Sump and lavatories on the site of the Settling Pond.

Photo



Significance of Asset

After the construction of the Settling Pond a new wall was built to enclosure the Fishpond area. Interestingly the former curved wall was not removed, but it may have been lowered. As an individual asset the wall surrounding the Settling Pond is of no great historic significance; however, it forms part of the early Public Park development of the formal gardens which has a local group significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Moderate

Recommended

This asset is either of very little intrinsic significance or has been more

**Recording and
Management Actions**

or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

55

Conservatory

Masterlist Ref.

LCA 1 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 927 (E:530405 N:192730)

Description

To the west of the Upper Lake, surrounded by tall trees and a wire fence, is a brick based glasshouse called the Conservatory, built in 1930.

Date

1930 - 2015

Historic background

In 1930 a large glasshouse (now the Conservatory) was completed to the west of the upper fishpond also called Swan Lake at this time.

Relationship to other assets

Three Fishponds, Settling Pond, West Wall, Three additional fishponds/parterres

Photo



Significance of Asset

The Conservatory is a distinctive and aesthetically pleasing building. It adds a sense of grandeur to the Park and although it is a relatively modern building it is one of the main and elaborate features of the Public Park so it has a local significance.

Evidential value

Low to moderate

Historical value

Low

Aesthetic values

Moderate

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. Conservation as-is is considered appropriate..

56

Bandstand

Masterlist Ref.

LCA 3 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 926 (E:530358 N:192631)

Description

Situated on the western bank of the Lower Pond is a stone based, wooden bandstand, painted black and white to imitate a Tudor Design.

Date

1921 - 2015

Historic background

In 1921 the Minutes of the Park recorded regular band concerts on a temporary stage on the Rose Lawn to the west of the swimming lake. This prompted the construction of a permanent Bandstand, which was built in 1927 on the western bank of the Lower Pond.

Relationship to other assets

Three Fishponds, West Wall, Three additional fishponds/parterres, Building to south of the Bandstand

Photo



Significance of Asset

The function of the Bandstand is stereotypically English and a main asset of the English Park Landscape. Although it is not of great aesthetic, structural or historical significance it is a key element of the early Public Park so it has a local significance.

Evidential value

Low to moderate

Historical value

Low

Aesthetic values

Moderate

Recommended Recording and Management Actions

it is a key element of the early Public Park so it has a local significance and should be conserved as-is.

57

Building adjacent to Park South Wall

Masterlist Ref.

LCA 3 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 925 (E:530360 N:192558)

Description

In 1865 there was a small building located adjacent to the Park's southern boundary wall overlooking the south-eastern corner of the Lower Pond. It was a small building, but it was depicted as inhabited rather than an outbuilding. Today the wall has been replaced with a Brick and Tile Wall and the area between the wall and the path is a shrub and plant border.

Date

1865 - 1896

Historic background

In 1865 an inhabited building was situated on the southern boundary, beside the south-eastern corner of the Lower Pond. It was demolished by the 1896 OS map.

Relationship to other assets

Building to south of the Bandstand, Brick and Tile Boundary Wall on Powis Lane, Three Fishponds, Three additional fishponds/parterres

Photo



Significance of Asset

The origin and function of this building is unknown so its significance cannot be determined. Archaeological remains associated with this building may survive within the lawn area to the south-west of the Lower Pond.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

Archaeological remains associated with this building may survive within the lawn area to the south-west of the Lower Pond and further investigation could prove useful.

58 Boathouse

Masterlist Ref. LCA 3 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 303 925 (E:530377 N:192580)

Description In 1896, on the eastern bank of the Lower Pond was a Boat House. It is likely there was a ramp into the pond from the structure, but the bank has since been reinforced in the 20th century.

Date 1896 - 1908

Historic background In 1896, adjacent to the Lower Pond on its eastern bank, was a building labelled Boat House. It was repaired in 1904 but due to the popularity of swimming the boat house was removed in 1908.

Relationship to other assets Three Fishponds, Wooden buildings used for poultry and then changing facilities to South-West of Garden House, Brick Enclosure around Broomfield House

Photo



Significance of Asset Very little is known about the Boathouse so its significance cannot be determined. However, it represents an interesting part of the early Public Parks development and is therefore of local significance. Archaeological remains associated with this building may survive to the east of the Lower Pond.

Evidential value Moderate

Historical value Low to moderate

Aesthetic values Low

Recommended This asset belongs to the 19—20th century and is intrinsically less

**Recording and
Management
Actions**

significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

59

Two Yew Trees

Masterlist Ref.

LCA 4 Drawing Ref: 22

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 926 (E:530496 N:192623) TQ 305 926 (E:530532 N:192682)

Description

Two large Yew Trees situated in the north-east and south-east corners of the East Lawn. Both trees have two wooden seats situated beneath the canopy overlooking the lawn.

Date

1914 - 1953

Historic background

Two large, old Yew Trees were shown on the 1865 OS map.

Relationship to other assets

Brick Enclosure around Broomfield House, Two ornamental circular seats around yew trees

Photo



Significance of Asset

The date of the Yew Trees are uncertain but they are believed to be several centuries old. Today they are a main feature of the East Lawn and are therefore of local historic significance.

Evidential value

Low

Historical value

Moderate

Aesthetic values

High

Recommended Recording and Management Actions

Conserve as they are.

20th Century Park Assets

60

Two sets of two Air Raid Shelters

Masterlist Ref.	LCA 9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 305 927 (E:530552 N:192708)?
Description	Four air raid shelter in two sets of two. The first set of two Air Raid Shelters were re-used as changing facilities in the vicinity of the former Gravel Pit. These may be relatively rare decontamination and cleansing stations. See another example below. It is suggested that more research on the structure and function of these structures and public explanation is needed. The second set of two do not survive above ground – they are located just inside the north edge of the park, along Alerman's Hill, between the park boundary and the athletics track (the place is shown in the photo for Gazetteer entry number 25 and 73)
Date	1939 -
Historic background	During WW2, two Air Raid Shelters had been built next to the Sports Field. Following the war they were used as changing facilities.
Relationship to other assets	Cricket, football, hockey and rugby Pitches on former gravel pit, Northern end of Broomfield Lane, Fairy Cycle Track and Lavatory, Brick Enclosure around Broomfield House
Photo	
Significance of Asset	The Air Raid Shelters represent the Park's role during WW2. Its responsibility as a public space to protect the local community is of local significance.
Evidential value	Low – unless the 2 surviving structures are confirmed by further investigation to be decontamination stations, in which case the rarity of
Historical value	such to survive would raise their value to moderate.

Aesthetic values

Low

Low

**Recommended
Recording and
Management
Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are.

61	Cricket, football, hockey and rugby pitches on former gravel pit
Masterlist Ref.	LCA 9 Drawing Ref: 66
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 306 927 (E:530642 N:192726)
Description	In 1903 the former gravel pit was used for Cricket, football, hockey and rugby. It is now a large level playing field for football.
Date	1903
Historic background	<p>In 1903 Philip Lybbe Powys sold the house and its 54-acre park to Southgate U.D.C. who proposed building a gymnasium, cricket and football pitches, lawn tennis, and bowls among other sports facilities. The cricket pitches and lawn tennis were the first to be installed</p> <p>In 1913 the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west.</p> <p>In 1918 the sunken cricket field was ploughed up and used to grow vegetables as part of the war effort. They were reinstated and a new cinder running track was installed between 1918 – 1920:</p> <p>Between 1936 and 1957 the sports ground was extended southwards and a netball pitch was established to the east.</p>
Relationship to other assets	North-East Avenue, Building and garden in south-east corner, Cinder Running Track, Avenue of Oaks along Alderman's Hill, Building and Garden in South-East corner of Warrens Field, North end of Broomfield Lane, Garden and Avenue between north-east Avenue and Canal, Field Boundaries in Warren's Field, Small Building in the centre of in-filled gravel pit, Children's Playing Area (1991)

Photo



Significance of Asset

The pitches laid out on Warren’s field are a relatively modern feature and have been developed and modified in the latter half of the 20th century. Although these assets are part of the development of the Public Park, they are not considered of historic interest.

Evidential value

Low

Historical value

Moderate

Aesthetic values

High

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

62

Cinder Running Track

Masterlist Ref.

LCA 9 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 306 927 (E:530621 N:192779)

Description

In 1918 a Cinder Running Track was laid out around a football pitch in the northern part of the former Gravel Pit. Today the site is a large, level playing field used for football.

Date

1918

Historic background

In 1903 Philip Lybbe Powys sold the house and its 54-acre park to Southgate U.D.C. who proposed building a gymnasium, cricket and football pitches, lawn tennis, and bowls among other sports facilities. The cricket pitches and lawn tennis were the first to be installed.

In 1913 the cricket field on the site of the former gravel pit was levelled by cutting into the land to the north and west.

In 1918 the sunken cricket field was ploughed up and used to grow vegetables as part of the war effort. They were reinstated and a new cinder running track was installed between 1918 – 1920:

Between 1936 and 1957 the sports ground was extended southwards and a netball pitch was established to the east. The Cinder Running Track was replaced and then removed after 1991.

Relationship to other assets

North-East Avenue, Building and garden in south-east corner, Avenue of Oaks along Alderman's Hill, North end of Broomfield Lane, Garden and Avenue between north-east Avenue and Canal, Field Boundaries in Warren's Field, Children's Playing Area (1991), Pitches on former gravel pit

Photo



Significance of Asset

The Cinder Running Track is a relatively modern feature. The cinder track was in athletic terms of some significance. Athletes such as John

Landy and Sir Roger Bannister ran there. A film exists showing the track in its heyday. <http://player.bfi.org.uk/film/watch-southgates-new-running-track-broomfield-park-1930s-1933/>

The cinder track suffered badly from flooding on the south west turn in its later years and Southgate Harriers, formed in Broomfield Park in 1933, moved away. Although the cinder track is part of the Public Park's development and played a role in sporting history, it is not considered of historic significance.

Evidential value Low

Historical value Low

Aesthetic values Low

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

63

Children's Playing Area

Masterlist Ref.

LCA 9 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 305 928 (E:530595 N:192820)

Description

For the majority of the 20th century there was a Children's Playground to the east of the former Canal structure. The playground was relocated in the late 20th century and the site is now used for Crazy Golf.

Date

1918 - 1991

Historic background

Between 1918 and 1920 a new children's playing field was built to the east of the former Canal. It was moved after 1991 to the south-western corner of the former Gravel Pit.

Relationship to other assets

Children's Playing Area (1991), Crazy Golf, Canal, Garden and Avenue between north-east Avenue and Canal

Photo



Significance of Asset

The Children's Playing Area is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance. It is on the site of the former route of Broomfield Lane, which contain archaeological remains.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

64

Crazy Golf

Masterlist Ref.

LCA 9 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 305 928 (E:530595 N:192820)

Description

A former Children's Playground now used for Crazy Golf.

Date

1991 - 2015

Historic background

Following the move of the 1918 Children's Playground to the south-western corner of the former Gravel Pit, a Crazy Golf was built on the Site.

Relationship to other assets

Children's Playing Area (1918), Children's Playing Area (1991), Canal, Garden and Avenue between north-east Avenue and Canal

Photo



Significance of Asset

Crazy Golf is a modern feature and although it is part of the Public Park's development it is not considered of historic significance. It is on the site of the former route of Broomfield Lane, which contain archaeological remains.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

65	Netball Pitch
Masterlist Ref.	LCA 9 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 307 926 (E:530711 N:192699)
Description	A former hard surfaced Netball Court situated to the east of the 1970s Sports Ground and Running Track Today the site is a large level playing field used for football.
Date	1936
Historic background	Between 1936 and 1957 the sports ground was extended southwards and a netball pitch was established to the east. It was removed after 1991.
Relationship to other assets	Gravel Pit, Pitches on former gravel pit
Photo	No Photo
Significance of Asset	The Netball was a modern feature and although it is part of the Public Park's development it is not considered of historic significance. It has since been removed.
Evidential value	Low
Historical value	Low
Aesthetic values	Low
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

66 Fairy Cycle Track and Lavatory

Masterlist Ref. LCA 9 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 305 927 (E:530529 N:192731)

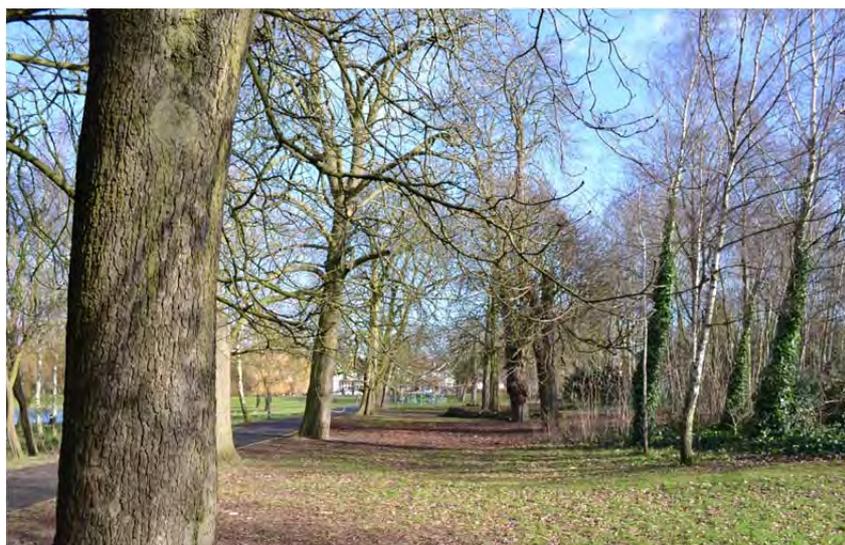
Description In 1937 the former Canal, and later Chestnut Walk, was converted into a fairy cycle track and a lavatory. The Site is now overgrown waste land on its eastern side and an Outdoor Gym in the centre of the western side.

Date 1937

Historic background In 1937 a fairy cycle track and lavatory was built on the site of the Chestnut Walk and the former Canal. It was removed and landscaped after 1991.

Relationship to other assets Canal, Outside Gym, Alderman's Hill Pond, Two Air Raid Shelters, Brick Enclosure around Broomfield House

Photo



Significance of Asset The Fairy Cycle Track and Lavatories were relatively modern and although they form part of the Public Park's development they are not considered of historic significance. They have since been removed. They were on the site of a former water feature referred to as the Canal.

Evidential value Low

Historical value Low

Aesthetic values Low

Recommended Recording and This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

Management Actions

67

Shelter to north of Yachting Pond

Masterlist Ref.

LCA 10 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530478 N:192577)

Description

To the north of the Yachting Pond is a concrete platform with steps leading down to the pond and plant borders on each side.

Date

1936 - 2015

Historic background

Between 1936 and 1957a shelter with a clock on its façade was built to the north of the yachting pond. Its base is still extant today, but it was still labelled as a shelter in the 1991 OS map.

Relationship to other assets

Yachting Pond, Alderman's Hill Pond, Settling Pond, Canal, Avenue of Oaks along Alderman's Hill

Photo



Significance of Asset

The Shelter a modern feature and although it is part of the Public Park's development it is not considered of historic significance. It only partially survives.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of

Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

68

Bowling Green

Masterlist Ref.

LCA 8 Drawing Ref: 65

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 928 (E:530443 N:192876)

Description

A level, grass Bowling Green surrounded by hedges and situated to the north of the Pavilion.

Date

1903 - 2015

Historic background

In 1903 land for a bowling green was purchased and new grass turf was donated by Mr Reginald Powys-Lybbe.

The bowling greens were laid out with Cumberland Turf in 1921 and a Bowling and Tennis Pavilion, consisting of an old army hut, was built over the settling pond. In 1927 the north-western bowling green became a Croquet Lawn. The current Pavilion was built in 1947.

Relationship to other assets

Bowling Green Pavilion, Three field boundaries in Parkland, The Avenue, Lawn tennis courts on West Field, Croquet Lawn

Photo



Significance of Asset

The Bowling Green is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Moderate

Recommended

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque)

**Recording and
Management Actions**

garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

69	Bowling Green Pavilion
Masterlist Ref.	LCA 8 Drawing Ref: 65
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 928 (E:530428 N:192849)
Description	A brick Pavilion built to the south of a level, grass Bowling Green surrounded by hedges.
Date	1947 - 2015
Historic background	In 1903 land for a bowling green was purchased. These were remodelled in 1921 and a Bowling and Tennis Pavilion, consisting of an old army hut, was built over the settling pond. In 1927 the north-western bowling green became a Croquet Lawn. In 1947 the Settling pond was in-filled (to the north-west of the upper pond) and the Pavilion was demolished. This was replaced with the current Pavilion.
Relationship to other assets	Bowling Green, Settling Pond, Lawn tennis courts on West Field, West Wall
Photo	
Significance of Asset	The Bowling Green Pavilion is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.
Evidential value	Low
Historical value	Low
Aesthetic values	Moderate
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

70	Croquet Lawn
Masterlist Ref.	LCA 8 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 928 (E:530402 N:192900)
Description	A former Bowling Green, the Croquet Lawn was converted into a Community Orchard in the late 20 th century.
Date	1927 - 1991
Historic background	<p>In 1903 land for a bowling green was purchased and new grass turf was donated by Mr Reginald Powys-Lybbe.</p> <p>The bowling greens were laid out with Cumberland Turf in 1921 and a Bowling and Tennis Pavilion, consisting of an old army hut, was built over the settling pond.</p> <p>In 1924 the upper bowling green (north-west) was surrounded by rockwork, which is visible today. .</p> <p>In 1927 the north-western bowling green became a Croquet Lawn, which it remained until after 1991 when it became a Community Orchard.</p>
Relationship to other assets	Bowling Green, Bowling Green Pavilion, Lawn tennis courts on West Field, Community Orchard
Photo	





Significance of Asset

The Croquet Lawn is a relatively a modern feature and although it is part of the Public Park's development it is not considered of historic significance. It is now a community orchard.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

71

Lawn tennis courts on West Field

Masterlist Ref.

LCA 8 Drawing Ref: 41, 61

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 927 (E:530370 N:192792)

Description

Early 20th century Lawn Tennis courts, formerly situated in the north-eastern corner of the Parkland (West Field). The lawn courts have since been converted into hard surfaces courts surrounded by wire fences.

Date

1903

Historic background

In 1903 Philip Lybbe Powys sold the house and its 54-acre park to Southgate U.D.C. who proposed building a gymnasium, cricket and football pitches, lawn tennis, and bowls among other sports facilities. The cricket pitches and lawn tennis were the first to be installed.

In 1909 sixteen grass tennis courts were recorded in the parkland to the west of the ponds. By 1921 there were 17 grass tennis courts and several hard surface courts. These have all been replaced with hard surface courts.

Relationship to other assets

Bowling Green, Bowling Green Pavilion, Three field boundaries in Parkland, The Avenue

Photo



Significance of Asset

The Lawn Tennis Courts on West Field are a relatively modern feature and have been developed and modified as hard courts in the latter half of the 20th century. Although these assets are part of the development of the Public Park, they are not considered of historic interest.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

72

Brick and Tile Boundary Wall on Powis Lane

Masterlist Ref.

LCA 3/7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 597 (E:530478 N:192577)

Description

A wall constructed of brick (base and pillars) and tile (top) along the south boundary of the gardens.

Date

1924

Historic background

In 1924 the Minutes of the Park reported the construction of a brick and tile boundary wall facing Powis Lane.

Relationship to other assets

Pond/Stream on Parkland Southern Boundary, Garden House Yard, Wall to south of 1801 Yard, Fishpond to the south-west of the Lower Pond, West Wall

Photo



Significance of Asset

The brick and tile boundary wall is an aesthetically interesting feature of the Public Park. It seems slightly out of context compared to the other walls in the Park but with some interpretation this could be a feature of local significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Moderate

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration

would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

73

Avenue of Oaks along Alderman's Hill

Masterlist Ref.

LCA 7 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 305 928 (E:530506 N:192890)

Description

A disjointed avenue running from the north-west corner of the Parkland to the north-east corner of the former Gravel Pit (Warren's Field). The avenue runs parallel with the northern boundary and consists of two lines of Oaks with a path running through the centre of the majority of the avenue. The second set of two do not survive above ground – they are located just inside the north edge of the park, along Alderman's Hill, between the park boundary and the athletics track.

Date

1925

Historic background

In 1925 the Minutes of the Park recorded the planting of an avenue of oaks from the Village Gates towards the bowling green parallel with Alderman's Hill.

Relationship to other assets

Village Gates, Orchard or planted woodland in north-west corner, Two Buildings on Parkland Northern Boundary, Bowling Green, Croquet Lawn, Community Orchard, Shelter to North of Yachting Pond, Canal, Alderman's Hill Pond, Gravel Pit, Pitches on former Gravel Pit.

Photo



Significance of Asset

The avenue is not very prominent as it incorporated into the park's northern boundary. Although it is part of the Public Park's development it is not considered of historic significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Low to moderate

Recommended

This asset belongs to the 19–20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque)

**Recording and
Management Actions**

garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

74

Artesian Well

Masterlist Ref.

LCA 8 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 928 (E:530385 N:192885)

Description

A concrete well and small brick structure located in the south-west corner of the Community Orchard.

Date

1935 - 2015

Historic background

In 1935 the Minutes of the Park recorded the installation of an Artesian Well in the south-west corner of the tennis courts and putting green.

Relationship to other assets

Lawn tennis courts on West Field, Croquet Lawn, Community Orchard

Photo



Significance of Asset

The Artesian Well is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

75

Community Orchard

Masterlist Ref.

LCA 8 Drawing Ref: 63

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 928 (E:530402 N:192900)

Description

A Community Orchard to the west of the Bowling Green, on the site of a former Croquet Lawn.

Date

1991 - 2015

Historic background

In 1903 land for a bowling green was purchased and new grass turf was donated by Mr Reginald Powys-Lybbe.

The bowling greens were laid out with Cumberland Turf in 1921 and a Bowling and Tennis Pavilion, consisting of an old army hut, was built over the settling pond.

In 1924 the upper bowling green (north-west) was surrounded by rockwork, which is visible today. .

In 1927 the north-western bowling green became a Croquet Lawn, which it remained until after 1991 when it became a Community Orchard.

Relationship to other assets

Lawn tennis courts on West Field, Croquet Lawn, Three field boundaries in Parkland, The Avenue

Photo



Significance of Asset

The Community Orchard is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Moderate

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

76

Building to south of the Bandstand

Masterlist Ref.

LCA 3? Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 303 926 (E:530320 N:192600)

Description

A former building located at the southern end of the grass lawn to the west of the Lower Pond. This was an open air theatre. A number of development plans exist between 1947 and 1951 and are held in the Local Studies centre

Date

1926 - 1957

Historic background

To the south of the Bandstand a small rectangular structure had been built between 1926 and 1936 but it was removed prior to 1957.

Relationship to other assets

Bandstand, Three Fishponds, West Wall, Three additional fishponds/parterres

Photo



Significance of Asset

The building to the south of the Bandstand was a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance. It has since been removed.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended

This asset is either of very little intrinsic significance or has been more

Recording and Management Actions

or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

77

Sun Dial Garden

Masterlist Ref.

LCA 3 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 925 (E:530407 N:192568)

Description

A garden with a sun dial in the centre to the west of the Garden of Remembrance. Now a grass lawn with decorative plant borders between the Garden of Remembrance and the Lower Pond.

Date

?

Historic background

In 1926 the Minutes of the Park recorded the construction of a 'Tudor doorway' in what was then called the 'Old English Garden' (previously the Sun Dial Garden) to the east of the bathing pool to create a triangular enclosure adjoining Powis Lane. No further reference has been found attaining to the Sun Dial Garden.

Relationship to other assets

Brick Enclosure for Garden House, Garden of Remembrance, Rifle Club, Buildings to south of stable block, Old English Garden, Wall to south of 1801 Yard

Photo





Significance of Asset

The Sun Dial Garden has since been subsumed into the lawn and plant borders area to the east of the Lower Pond and is now longer a separate entity. It has therefore lost any aesthetic value and is not considered of historic significance. It is on the site of the west wall of the Garden House Enclosure and may contain associated archaeological remains.

Evidential value

Low

Historical value

Low

Aesthetic values

Low – could be restored and be more aesthetically valuable

Recommended Recording and Management Actions

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. This garden could be restored. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

78	Old English Garden
Masterlist Ref.	LCA 3 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530407 N:192568)
Description	A garden, later the Sun Dial Garden, to the west of the Garden of Remembrance. Now a grass lawn with decorative plant borders between the Garden of Remembrance and the Lower Pond.
Date	1926
Historic background	In 1926 the Minutes of the Park recorded the construction of a 'Tudor doorway' in what was then called the 'Old English Garden' (previously the Sun Dial Garden) to the east of the bathing pool to create a triangular enclosure adjoining Powis Lane. No further reference has been found attaining to the Old English Garden.
Relationship to other assets	Brick Enclosure for Garden House, Garden of Remembrance, Rifle Club, Buildings to south of stable block, Sun Dial Garden, Wall to south of 1801 Yard

Photo



Significance of Asset The Old English Garden has since been subsumed into the lawn and plant borders area to the east of the Lower Pond and is now longer a separate entity. It has therefore lost any aesthetic value and is not considered of historic significance. It is on the site of the west wall of the Garden House Enclosure and may contain associated archaeological remains.

Evidential value Low
Historical value Low

Aesthetic values

Low – could be restored and be more aesthetically valuable

**Recommended
Recording and
Management Actions**

This asset belongs to the 19—20th century and is intrinsically less significant than earlier features of the 17-18th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. This garden could be restored. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is of lesser intrinsic significance, but is likely to survive below the ground surface as archaeological remains, and would be a suitable subject for a community archaeology programme.

Garden of Remembrance

Masterlist Ref.	LCA 12 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530426 N:192541)
Description	A garden with decorative planting, an obelisk and a covered walkway designed by R Phillips in 1929 as a war grave for the WW1.
Date	1929 - 2015
Historic background	After several proposals across the Park, a Garden of Remembrance was opened in 1929 to the south of the stable block on the site of the former rifle range and several outbuildings.
Relationship to other assets	Brick Enclosure for Garden House, Rifle Club, Buildings to south of stable block, Sun Dial Garden, Old English Garden, Wall to south of 1801 Yard, Brick and Tile Boundary Wall on Powis Lane

Photo

Significance of Asset	The Garden of Remembrance was designed by R Phillips and is of local significance as a War Grave.
Evidential value	Low
Historical value	Low - Moderate
Aesthetic values	Moderate
Recommended Recording and Management Actions	This asset belongs to the 19—20 th century and is intrinsically less significant than earlier features of the 17-18 th century (Baroque) garden. When features of the two periods coincide, and the restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. This garden could be restored.

Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

This asset is of lesser intrinsic significance, but is likely to survive below the ground surface as archaeological remains, and would be a suitable subject for a community archaeology programme.

80	Blind Garden
Masterlist Ref.	LCA 3? Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	?
Description	?
Date	1959
Historic background	In 1959 the Minutes of the Park reference the opening of a The Blind Garden (also called the Scented Garden). No further reference has been found attaining to the Blind Garden.
Relationship to other assets	?
Photo	No Photo
Significance of Asset	?
Evidential value	Low
Historical value	Low
Aesthetic values	Low
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

81	Aviary
Masterlist Ref.	LCA 3? Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	?
Description	?
Date	1960
Historic background	In 1960 the Minutes of the Park reference the opening of an Aviary adjacent to The Blind Garden. No further reference has been found attaining to the Aviary.
Relationship to other assets	?
Photo	No Photo
Significance of Asset	?
Evidential value	Low
Historical value	Low
Aesthetic values	Low
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

82 Lavatories to south of drive

Masterlist Ref. LCA 11 Drawing Ref:

Designation Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location TQ 304 926 (E:530431 N:192619)

Description A modern brick structure built on the site of the former Garden House. The lavatories are located at the western end of the south side of the Driveway.

Date 1958 – 2015 (Previous Urinal in a small building attached to the south wall of the Garden House 1914-1936)

Historic background Rocque’s map of 1754 depicts a building of a similar size to Broomfield House on the south side of the Driveway, the Garden House. Surrounding the building was an enclosure. The building was demolished in 1958 in favour of new lavatories.

Relationship to other assets Brick Enclosure for Garden House, Driveway to Broomfield House, Garden House, Wall to south of 1801 Yard, Extension to Garden House on south side of driveway, Greenhouses to south of Garden House, Outbuildings to south of Garden House (1914)

Photo



Significance of Asset The lavatories is a modern feature and although it is part of the Public Park’s development it is not considered of historic significance. It is on the site of the former Garden House.

Evidential value Low

Historical value Low

Aesthetic values Low

Recommended Recording and This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are

Management Actions no conservation policies judged to be appropriate.

83	Building adjacent to East wall of original Garden House Yard
Masterlist Ref.	LCA 11 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530478 N:192577)
Description	Situated at the north end of the eastern wall of the brick enclosure surrounding the Garden House were several buildings that were continually replaced in the 19 th and 20 th century. Today the site is occupied by a series of connected modern garages. The third building on this site consists of two structures, neither as long as the two previous buildings. By 1957 the two buildings were replaced with a series of garages.
Date	1928
Historic background	In 1928 to the north of the stable block two new sheds had been built adjacent to the east wall of the yard (on the site of a former building shown in the 1801 inclosure map and another on the 1896 OS map). This building was demolished and replaced by garages between 1936 and 1957.
Relationship to other assets	Building on East wall of original Garden House Yard (1801, 1936), Brick Enclosure for Garden House, Stable Block
Photo	
Significance of Asset	The Building on the East Wall is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.
Evidential value	Low
Historical value	Low
Aesthetic values	Low

**Recommended
Recording and
Management Actions**

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

84

Outbuilding on north wall of stable block

Masterlist Ref.

LCA 11 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 304 926 (E:530461 N:192601)

Description

A small building, aligned north-south, abutting the north wall of the Stable Block in the mid to late 20th century.

Date

1957 - 1991

Historic background

Between 1801 and 1865 a series of yards and buildings were constructed in the south-eastern corner of the Site. This included the Stable Block, which incorporated the south wall of an earlier yard. Between 1936 and 1958 a structure was built against the north wall of the Stable Block. It was demolished after 1991.

Relationship to other assets

Stable Block, Brick Enclosure for Garden House, Building on East wall of original Garden House Yard (1801, 1896 & 1936), Building in the centre of original Garden House Yard, Three internal boundaries in original Garden House Yard, Greenhouse to north of stable block

Photo



Significance of Asset

The Outbuilding on the north wall of the Stable Block was a modern feature and although it is part of the Public Park's development it is not considered of historic significance. It has since been removed.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

85	Park Keepers Cottages
Masterlist Ref.	LCA 11 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 925 (E:530436 N:192574)
Description	Four terraced buildings built of brick and waterboarding in 1960, to the west of the Stable Block.
Date	1960 - 2015
Historic background	In 1960 four Park Keepers cottages were built to the west of the Stable Block on the site of an 1801 yard wall.
Relationship to other assets	Brick Enclosure for Garden House, Three internal boundaries in original Garden House Yard, Wall to south of 1801 Yard, Old English Garden, Garden of Remembrance
Photo	
Significance of Asset	The Park Keepers Cottages are a relatively modern feature and although they are part of the Public Park's development they are not considered of historic significance.
Evidential value	Low
Historical value	Low
Aesthetic values	Low to moderate
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

86	Asset Name	Park Tablet
	Masterlist Ref.	LCA 6 Drawing Ref:
	Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
	NGR/Location	TQ 304 925 (E:530488 N:192591)
	Description	A shell shaped, engrave stone tablet located adjacent to the Gateway, on the south side of the Driveway.
	Date	1908 - 2015
	Historic background	In 1908 the Minutes of the Park record the installation of a tablet announcing the status of the park near the entrance.
	Relationship to other assets	Brick Enclosure for Garden House, Driveway to Broomfield House, Gateway at the east end of the driveway

Photo



Significance of Asset	The Park Tablet is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.
Evidential value	Low
Historical value	Low
Aesthetic values	Moderate
Recommended Recording and Management Actions	Conservation in situ. This asset belongs to the 19–20 th century and is intrinsically less significant than earlier features of the 17-18 th century (Baroque) garden. When features of the two periods coincide, and the

restoration of an earlier Baroque feature is considered feasible from a landscape garden design perspective, it is generally judged that such restoration would be archaeologically justified. Where there is no restoration of Baroque features needed these remains should be left as they are. Where restoration is made, the later features should be appropriately recorded archaeologically during the process.

87	Two ornamental circular seats around yew trees
Masterlist Ref.	LCA 4 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 926 (E:530496 N:192623) TQ 305 926 (E:530532 N:192682)
Description	In 1904 two ornamental seats were donated to the Park. They have since been removed.
Date	1904
Historic background	In 1904 the Minutes of the Park record the donation of two ornamental circular seats by Mr Charles Newby for seating around the two ancient yew trees on the lawn.
Relationship to other assets	Two Yew Trees, Brick Enclosure around Broomfield House

Photo



Significance of Asset	The ornamental seats are no longer in situ and therefore have no significance.
Evidential value	Low
Historical value	Low
Aesthetic values	Low
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

88

Children's Playing Area

Masterlist Ref.

LCA 9 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 305 926 (E:530566 N:192637)

Description

In 1991 the Children's Playground moved from the site of the current Crazy Golf to the south-western corner of the former gravel Pit.

Date

1991 - 2015

Historic background

Between 1918 and 1920 a children's playing field was built to the east of the former Canal. It was moved after 1991 to the south-western corner of the former Gravel Pit.

Relationship to other assets

Gravel Pit, Pitches of former gravel pit, North end of Broomfield Lane, Field Boundaries in Warren's Field, Children's Playing Area (1918)

Photo



Significance of Asset

The Children's Playing Area (1991) is a modern feature and although it is part of the Public Park's development it is not considered of historic significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and Management Actions

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

89

New Gym

Masterlist Ref.

LCA 10 Drawing Ref:

Designation

Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.

NGR/Location

TQ 305 928 (E:530553 N:192808)

Description

An outdoor gym constructed in the early 21st Century on the site of the former Canal.

Date

1991 - 2015

Historic background

In 1937 a fairy cycle track and lavatory was built on the site of the Chestnut Walk and the former Canal. It was removed and landscaped after 1991, when an outdoor Gym was built on the site.

Relationship to other assets

Canal, Fairy Cycle Track and Lavatory

Photo



Significance of Asset

The Outside Gym is a relatively modern feature and although it is part of the Public Park's development it is not considered of historic significance.

Evidential value

Low

Historical value

Low

Aesthetic values

Low

Recommended Recording and

This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are

Management Actions no conservation policies judged to be appropriate.

90	Sump and lavatories on the site of the Settling Pond.
Masterlist Ref.	LCA 10 Drawing Ref:
Designation	Broomfield Landscape Park GLHER No: ML059796. Registered Park & Garden Ref: 1496.
NGR/Location	TQ 304 927 (E:530427 N:192772)
Description	To the north-west of the Upper Pond is an area of undulating grass with interspersed shrubs and trees. To the west there is a lavatory, first built and replaced between 1958 and 1970. Previously this was the site of a settling pond that was built in 1911 and infilled in 1947. It was intended to clean the fishponds water to enable swimming, but it was unsuccessful and in 1921 a Bowling and Tennis Pavilion was built over the pond. The earthworks in this area are likely to be associated with the in-filling of the settling pond which suggests that archaeological remains are likely to survive.
Date	1947 - 2015
Historic background	<p>In 1911 the depth of one of the fishponds was decreased and a settling pond had been excavated to help purify the water. However, despite this the water was badly contaminated and bathing was stopped. Two new walls were built to replace a curved wall around the Upper Lake and enclose the settling pond.</p> <p>In 1921 a Bowling and Tennis Pavilion, consisting of an old army hut, was built over the settling pond.</p> <p>The Settling pond was in-filled in 1947 and Pavilion demolished, replaced with a sump and lavatories. The lavatories were replaced with a new structure between 1958 and 1970.</p>
Relationship to other assets	Also see Three Fishponds to the West of Broomfield House, Three additional fishponds/parterres, Yachting Pond, West Wall, Conservatory, Bowling Green Pavilion, Wall to the north and west of settling pond, Curved wall to the north of the Upper Pond, Sump and lavatories on the site of the Settling Pond.

Photo



Significance of Asset	Although this asset is part of the history of the fishponds it is a relatively modern feature. It started out as a functional element of the garden but became an aesthetic lake, especially when the pavilion was built on stilts over the pond. The earthworks in the area suggest that there are archaeological remains associated with the pond surviving beneath the ground surface, but these are not considered to be of great significance.
Evidential value	Low
Historical value	Low
Aesthetic values	Low
Recommended Recording and Management Actions	This asset is either of very little intrinsic significance or has been more or less totally destroyed by later garden or constructions and there are no conservation policies judged to be appropriate.

91	Cascade? Identified by TF but not seen in Sources or maps.
Masterlist Ref.	LCA 1/10 Drawing Ref: 3
Designation	n/a
NGR/Location	TQ 305 927 (E:530510 N:192728)
Description	Canal, Brick Enclosure around Broomfield House, Curved Wall to north of Upper Pond
Date	Unknown, feature needs to be determined.
Historic background	The 'cascade' does not appear on any historic maps or documentary evidence. Although it seems on the ground to be a cascade between the Canal and the Upper Pond it is likely to be the remains of the curved wall to the north of the Upper Lake reused to build an informal grotto style revetment wall. Further research is required but if it is part of the curved wall it would have local significance.
Relationship to other assets	
Photo	
Significance of Asset	
Evidential value	Possibly moderate
Historical value	Possibly moderate
Aesthetic values	Moderate
Recommended Recording and Management Actions	Unknown

92 **Grotto in north-west corner of Middle Pond Identified on site, no historical ref found.**

Masterlist Ref. LCA 2 Drawing Ref: 11

Designation n/a

NGR/Location TQ 303 926 (E:530400 N:192698)

Description Good condition above ground surface
Three Fishponds to the West of Broomfield House, Three additional fishponds/parterres,

Date

Historic background The Grotto seems to be a relatively modern feature (although it does not appear on the historic mapping) and although it is part of the Public Park's development it is not considered of historic significance. No evidence was noted on site to aid dating, although possibly more detailed site investigations would reveal evidence.

Relationship to other assets

Photo



Significance

of Asset

Evidential value	Low
Historical value	Low
Aesthetic values	Moderate
Recommended Recording and Management Actions	Unknown

93	Cropmarks in West Field; Identified on a 1999 Aerial Photograph - require a copy
Masterlist Ref.	LCA 7 Drawing Ref: 51
Designation	n/a
NGR/Location	TQ 302 926 (E:530209 N:192688)
Description	<p>Unknown. May survive below ground surface</p> <p>The Avenue, Footpath running across the Parkland, Three Field Boundaries separating the Parkland, Stream along Parkland Southern Boundary</p> <p>The cropmarks suggest a square shaped feature with internal divisions similar to a Tudor garden. There is no depiction of a garden in the West Field but there is a large earthen bank which could be associated with these cropmarks. Oral evidence notes this is a location used for a circus tent and the parchmarks are consistent with parching during use for a summer circus or fun-fair. Further research is required before the significance of this potential asset can be determined, but on balance the evidence does not suggest an archaeological origin..</p>
Date	
Historic background	
Relationship to other assets	None

Photo



Significance of Asset

Evidential value	Low
Historical value	Low
Aesthetic values	Low

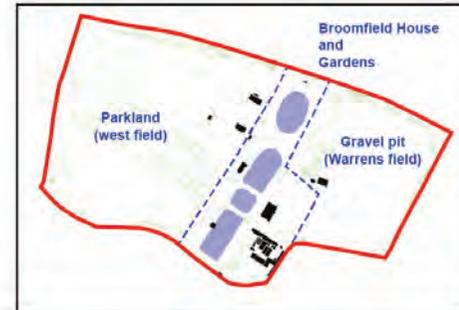
Recommended Recording and Management Actions

Further archaeological investigation could prove useful and could be undertaken as part of a community project.



- site area
- Period 1 (pre-19th Century)
- Period 2 (early parkland 1800-99)
- Period 3 (later parkland 1900-30)
- Period 4 (modern parkland 1931- 2015)

- | | |
|--|---------------|
| 1. Three fishponds to west of BH | 1754 - 2015 |
| 2. Three additional fishponds/parterres to west of established ponds | 1754 - 1801 |
| 3. Fishpond to the south-west of the lower pond (location approx) | 1801 - 1865 |
| 4. Sinuous pond/stream along southern boundary of the garden | 1754-1801 |
| 5. Canal to north-east of BH | 1754 - 1914 |
| 6. Stream running along southern boundary of the parkland (west field) | 1865 - 1914 |
| 7. Two ponds located on western boundary of the parkland (west field) | 1801 - 1883 |
| 8. Pond located between Alderman's Hill and the Park boundary | 1801 - 1914 ? |
| 9. Settling Pond | 1911 - 1947 |
| 10. Yachting Pond | 1910 - 2015 |



TITLE:
**Broomfield Park, Palmers Green,
 Enfield, Greater London**

DRAWING TITLE:
Asset Type: Ponds

DATE:
 18/04/15

DRAWN BY:
 ECMG



-  site area
-  Period 1 (pre-19th Century)
-  Period 2 (early parkland 1800-99)
-  Period 3 (later parkland 1900-30)
-  Period 4 (modern parkland 1931- 2015)

11. The Avenue	1754 - 2015
12. Two Buildings on Parkland northern boundary (location approx.)	1754 - 1801
13. Orchard or planted woodland in north-west corner	1754 - 1801?
14. Three field boundaries in Parkland	1865 - 1896
15. Building / Yard in Parkland north-west corner	1865
16. Building / Yard in Parkland north-west corner	1883
17. Park Cottages	1896 - 1970
18. West Wall	1754 - 2015
19. West Wall (north end) and structure (location approx.)	1754
20. Village gates in the north-west corner of the Parkland	1914 - 1953
21. Park Entrance (west end of Avenue)	1914 - 2015
22. Central Parkland Footpath	1912 - 1936





TITLE:
**Broomfield Park, Palmers Green,
 Enfield, Greater London**

DRAWING TITLE:
**Heritage Assets: Parkland
 (west field)**

DATE: 18/04/15 DRAWN BY: ECMG



Gravel pit
(Warrens field)

-  site area
-  Period 1 (pre-19th Century)
-  Period 2 (early parkland 1800-99)
-  Period 3 (later parkland 1900-30)
-  Period 4 (modern parkland 1931- 2015)



 **NEXUS HERITAGE**

TITLE
Broomfield Park, Palmers Green,
Enfield, Greater London

DRAWING TITLE
*Heritage Assets: Gravel Pit
(Warrens field)*

DATE
19/04/15

DRAWN BY
ECMG

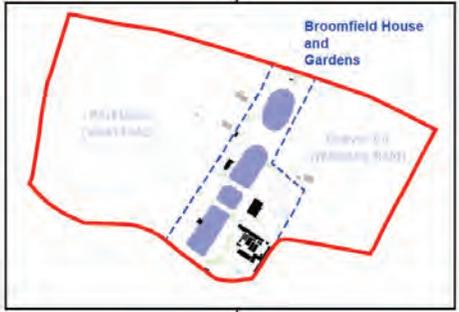
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|---|-------------|
| 23. Northern end of Broomfield Lane | 1599 - 1754 |
| 24. North-east Avenue | 1754 - 1854 |
| 25. Garden and Avenue in north-west corner of Warrens field | 1754 - 1854 |
| 26. Building and garden in south-east corner of Warrens field | 1754 - 1914 |
| 27. Gravel pit | 1854 - 1896 |
| 28. Wall to the west of the canal | 1801 - 1865 |
| 29. Building in the centre of Warrens Field | 1896 - 1903 |
| 30. Field boundaries in Warrens Field | 1896 - 1904 |





- 31. Brick enclosure around Broomfield House 1754 -1957
- 32. Summerhouse / Pavillion 1800? - 2015
- 33. Driveway to Broomfield House 1754 - 2015
- 34. Building and greenhouse on north side of driveway 1754 - 2015
- 35. Central driveway plant borders 1865 - 1896
- 36. Brick enclosure for Garden House (location approx.) 1754 - 1865
- 37. Garden House 1754 - 1958
- 38. Gateway at the east end of the driveway c.1600 - 2015
- 39. Potential storage vaults and revetement wall (location approx.) 1800
- 40. Building on east wall of original Garden House yard (location approx.) 1801 - 1865
- 41. Building on east wall of original Garden House yard 1896 - 1914
- 42. Building in centre of original Garden House yard (location approx.) 1801 - 1865
- 43. Three internal boundaries in original Garden House yard 1801 - 1970
- 44. Stable block 1865 - 2015
- 45. Greenhouse to north of Stable block 1865 - 1957
- 46. Buildings to south side of Stable block 1865 - 1914
- 47. Wall to south-west of 1801 yard 1865 - 2015
- 48. Extension to Garden House on south side of driveway 1865 - 1957
- 49. Greenhouse to south of Garden House 1896 - 1991
- 50. Wooden building used for poultry, then changing facilities 1911 - 1914
- 51. Outbuildings to the south of Garden House 1914 - 1936
- 52. Rifle Club (location approx.) 1914 - 1925
- 53. Curved Wall to north of upper pond 1801 - 1957
- 54. Wall to the north and west of settling pond 1914 - 1957
- 55. Conservatory 1930 - 2015
- 56. Bandstand 1921
- 57. Building adjacent to Park south wall 1865 - 1896
- 58. Boathouse (location approx.) 1896 - 1908
- 59. Two Yew trees undated

- site area
- Period 1 (pre-19th Century)
- Period 2 (early parkland 1800-99)
- Period 3 (later parkland 1900-30)
- Period 4 (modern parkland 1931-2015)



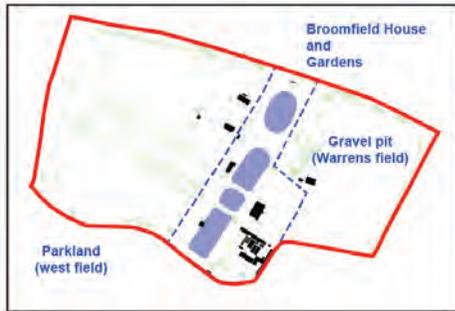
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TITLE
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Enfield, Greater London**

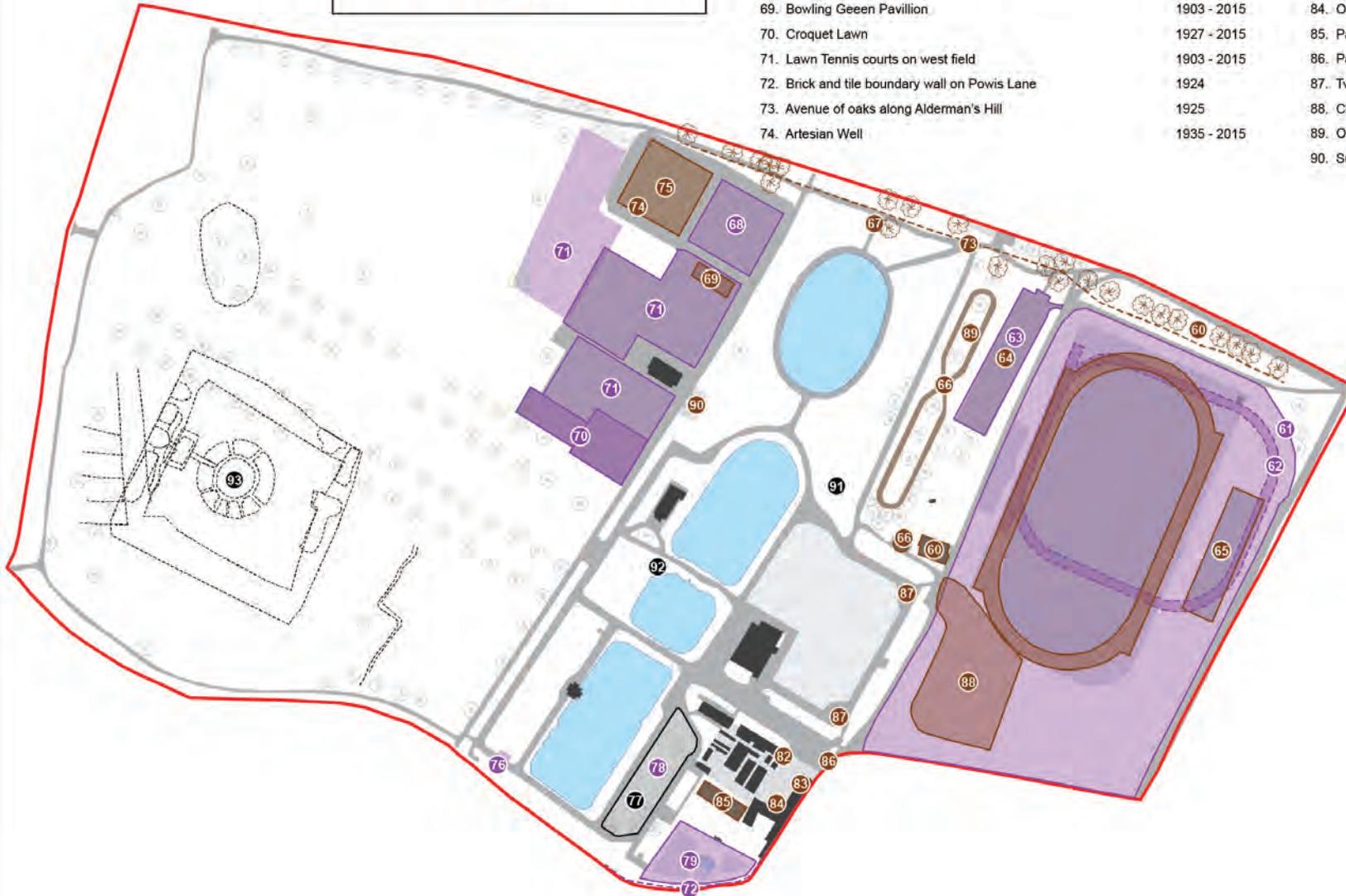
DRAWING TITLE:
**Heritage Assets: Broomfield House
and Gardens**

DATE: 04/08/15 DRAWN BY: ECMG



20th Century Public Park Assets

60. Two air raid shelters (x2)	1939	75. Community Orchard	1991 - 2015
61. Cricket, football, hockey and rugby pitches on former gravel pit	1903	76. Building to the south of the Bandstand	1926 - 1957
62. Cinder running track	1918	77. Sundial Garden	undated
63. Children's playing area	1918 - 1991	78. Old English Garden	1926
64. Crazy Golf	1991 - 2015	79. Garden of Remembrance	1929 - 2015
65. Netball pitch	1936 - 1991	80. Blind Garden (unlocated)	1959
66. Fairy cycle track and lavatory	1937 - 1991	81. Aviary (unlocated)	1960
67. Shelter to north of yachting pond	1936 - 2015	82. Lavatories to south of drive	1958 - 2015
68. Bowling Green	1903 - 2015	83. Building on east wall of original Garden House Yard	1936 - 1991
69. Bowling Green Pavilion	1903 - 2015	84. Outbuilding on north wall of Stable block	1957 - ?1991
70. Croquet Lawn	1927 - 2015	85. Park Keepers Cottages	1960 - 2015
71. Lawn Tennis courts on west field	1903 - 2015	86. Park Tablet	1908 - 2015
72. Brick and tile boundary wall on Powis Lane	1924	87. Two ornamental circular seats around yew trees	1904
73. Avenue of oaks along Alderman's Hill	1925	88. Children's playing area	1991 - 2015
74. Artesian Well	1935 - 2015	89. Outside Gymn	1991 - 2015
		90. Sump and lavatories on site of Settling Pond	1947 - 2015



Potential Assets

- 91. Cascade?
- 92. Grotto in north-west corner of Middle-Pond
- 93. Cropmarks in west field

site area

- Period 1 (pre-19th Century)
- Period 2 (early parkland 1800-99)
- Period 3 (later parkland 1900-30)
- Period 4 (modern parkland 1931- 2015)
- Undated / Potential Assets



TITLE:
**Broomfield Park, Palmers Green,
Enfield, Greater London**

DRAWING TITLE:
*Heritage Assets: 20th Century Public
Park and Potential assets*

DATE:
04/08/15

DRAWN BY:
ECMG

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